

JOB REFERENCE:

**RESIDENTIAL BUILDING SURVEY
OF
A GEORGIAN CONVERTED FLAT**



FOR

Mr Flat

FOR ANY HELP OR ASSISTANCE CALL FREE PHONE:

0800 298 5424

or

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INTRODUCTION

Firstly, may we thank you for using our services once again and for your kind instructions. We have now undertaken a Building Survey (formerly known as a Structural Survey) of the aforementioned property.

As you may recall the Building Survey takes the following format; there is an introductory section (which you are currently reading), which includes a synopsis of the building, and a summary of our findings.

We then go through a detailed examination of the property starting with the external areas working from the top of the property down, followed by the internal areas and the buildings services. We conclude with the section for your Legal Advisor and also attach some general information on the property market.

As we mentioned previously we are aware that a report of this size is somewhat daunting and almost off-putting to the reader because of this. Again we would stress that the purchase of a house is usually one of the largest financial outlays made (particularly when you consider the interest you pay as well).

As always we recommend that you set aside time to read the report in full, consider the comments, make notes of any areas that you wish to discuss further and phone us.

We obviously expect you to read the entire report but we would suggest that you initially look at the summary, which refers to various sections in the report which we recommend you read first so that you get a general feel for the way the report is written.

As part of our service we are more than happy to talk through the survey as many times as you wish until you are completely happy to make a decision. Ultimately, the decision to purchase the house is yours but we will do our best to offer advice to make the decision as easy as possible.

REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

GENERAL/HISTORICAL INFORMATION

This has been given in the survey where it is considered it will aid understanding of the issues, or be of interest. This is shown in "italics" for clarity.

TECHNICAL TERMS DEFINED

Throughout the Report, we have endeavoured to define any technical terms used. This is shown in "Courier New" typeface for clarity.

A PICTURE IS WORTH A THOUSAND WORDS



We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil has been used to highlight a specific area.

ORIENTATION

Any reference to left or right is taken from the front of the property, including observations to the rear, which you may not be able to physically see from the front of the property.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property.

Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.

SYNOPSIS

SITUATION AND DESCRIPTION

This is a large maisonette apartment situated within a converted Georgian style Property.

There is a shared access stairway and hallway. To the rear the property has a balcony at first floor level and access to the roof at second floor level. The surrounding properties are residential.

We are advised that the property was built in the 1860's. If the age of the property interests you your Legal Advisor may be able to find out more information from the Deeds.

Putting Life into Perspective!

Some of the things that were happening around the time the property was built:

1793 – 1800	The Grand Union Canal was built
1833	Start of Government funded schooling (1881 – schooling became compulsory to the age of 11)
1840	The First Postage Stamp
1859	Charles Darwin proposes the Theory of Evolution
1863	The Opening of London Underground
1878	Electric Street Lights are installed in London

EXTERNAL PHOTOGRAPHS



Front Elevation



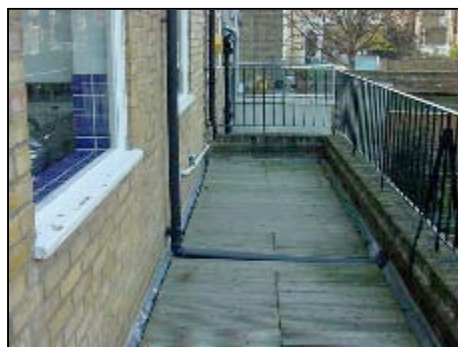
Front Elevation, Street View



Rear Elevation



A closer view of the rear elevation



Your Rear Terrace

ACCOMMODATION AND FACILITIES

Ground Floor

The ground floor accommodation consists of:

- Shared Entrance hall
- Front lounge
- Dining Area
- Kitchen
- Boiler Room/Store Room
- Roof Terrace

First Floor

The first floor accommodation consists of:

- Two double bedrooms
- Bathroom including a shower

Outside Areas

We would refer you to our earlier comments and we would add that in the area there is permit parking on a first come first serve basis. At the time of our survey the road was relatively quiet.

INTERNAL PHOTOGRAPHS

The following photos are of the internal of the property to help you recall what it looked like and the general ambience (or lack of). We have not necessarily taken photographs of each and every room.

Ground Floor



Lounge and Dining Area



A different view of the lounge



Kitchen

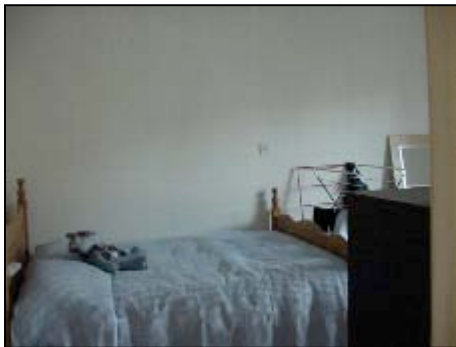
First Floor



First Floor Master Bedroom



First Floor Bathroom



Rear Bedroom



A different view of the rear bedroom

SUMMARY OF CONSTRUCTION

EXTERNAL

Chimneys:	Difficult to view – what could be seen was render finish
Main Roof:	Difficult to see, we believe that it is a butterfly or London Road clad with manmade slates.
Gutters and Downpipes:	A valley gutter across the butterfly roof leading into a plastic hopper head and downpipes.
Walls:	Finished in brickwork (assumed) Flemish bond
External Joinery:	Replacement timber windows

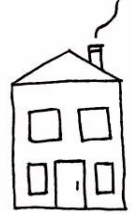
INTERNAL

Ceilings:	Plasterboard (assumed)
Walls:	A mixture of solid (assumed) brickwork
Floors:	Upper Ground Floor: A mixture of suspended timber floor and a joist and floorboard construction (assumed). First Floor: Joist and floorboard construction (assumed)

SERVICES

We believe that the property has a mains water supply, drains, electricity and gas (assumed).

The above terms are explained in full in the main body of the Report. We have used the term ‘assumed’ as we have not opened up the structure.



EXECUTIVE SUMMARY

Summaries are dangerous as they try to précis often quite complex subjects into a few paragraphs. This is particularly so in a summary about someone's future home when we are trying to second-guess what their priorities are, so it is important the Report is read in full.

It is inevitable with a report on a building of this nature that some of the issues we have focussed in on you may dismiss as irrelevant and some of the areas that we have decided are part of the 'character' of this property you may think are very important. We have taken in the region of 100 photographs during the course of this survey and many pages of notes, so if a comment has not been discussed that you are interested in/concerned about, please phone and talk to us before you purchase the property (or indeed commit to purchasing the property), as we will more than likely have noted it and be able to comment upon it. If we have not we will happily go back.

Having said all of that, here are our comments:

Generally we found the house overall in average condition, considering the property's age, type and style. However, looking at the wider picture their looks to have been or/are problems with the main property, we have detailed these in the following section. We would also recommend that you read the report in full. To aid your understanding we have divided the Executive Summary into 'The Good', 'The Bad' and 'The Ugly', to help distinguish what in our mind are the main issues.

The Good

Survey reports often are full of only the faults and general 'doom and gloom', so we thought we would start with some positive comments on the property.

This property like many older properties has a spacious feel to it than newer properties. This is due to larger room sizes both in the actual size of the rooms and the height of the rooms.

The property also has good natural light, due to the size of the windows.

The property also has some of the original features left, which add to the overall character of the property. Such as the ceiling roses and the fireplace. We are sure you can think of other things to add to this list.



The Bad

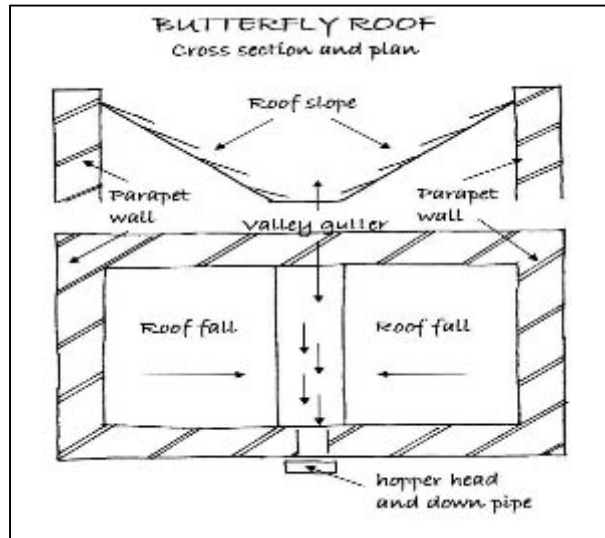
Working from the top of the property down. These are usually solvable problems. A number of them may sometimes be off putting.

1) **Shared Liability**

We note that the property is leasehold. We have not seen a copy of the Lease. However, we have found in many instances that as part of the Lease you will have to pay a proportion towards shared areas such as the roof, the drainage, the foundations etc. Therefore, the first section of this Executive Summary talks about some of those shared areas and possible costs and problems.

2) **The Main Roof**

The property has, what is known as a butterfly roof or London roof, they are common in London! Hopefully, the sketch below explains the type of roof better than we can in words.



Butterfly roofs are renowned for their problems, particularly with a central valley gutter. To this one there looks to have been problems to the parapet wall surrounding it, which is also fairly common. Despite our best efforts we were unable to contact the people on the top floor.

Please see the Roof Section of this Report.



Apologies for using the same photo again but it does demonstrate the butterfly roof. You can see the "V" shape in the roof to the rear of the property.

ACTION REQUIRED: Your Legal Advisor to specifically request information on the main roof and whether it is a shared responsibility and if so, what are the costs associated with repairing it when it is anticipated it will need to be repaired.

We are more than happy to return to inspect the roof if access can be gained via the top apartment.

Roof – Parapet Walls



Here you can see the different finishes to the parapet walls, if you look at the white render to the top of the wall.



Here is a closer look at the parapet wall. You can see some repair work and/or some deterioration has occurred.

Please also see the next section entitled “hairline cracking”

3) Brickwork/Hairline Cracking

There are several areas hairline cracking to the property, some of them are acceptable and in one case it is not acceptable.

Hairline Cracking to the Roof Area/Parapet Wall Area



Although difficult to photograph, we believe there has been repair work to the butterfly roof.



This is looking at the top of the parapet wall; you can see that some of the bricks have been repaired.



This photo is perhaps more revealing, you can see cracking in the brickwork that still has not been repaired.

Finally, we noted hairline cracking to the ceilings in the main bedroom. This is due to plasterboard being used, which is a relatively modern material. Whenever new and old materials are mixed they do not get on particularly well as the older materials tend to allow movement and the newer ones tend to be more ridged.

ACTION REQUIRED: This needs to be resolved. Your Legal Advisor needs to specifically request information relating to the roof and parapet area and any proposed work.

ANTICIPATED COST: With regard to the roof work in general both in the first section and the second hairline cracking section, as this work is likely to need scaffolding it would be expensive to carry out and also the property is relatively high does limit the builders that are prepared to do the work. We would anticipate the costs for the repair works to be £10,000 (ten thousand pounds) plus depending of course on what is found. We assume this will be shared between the three parties but a quotation is needed due to the specialist nature of this work.

4) Staircase Area

As the stairs are open it is normally required that you have a fire barrier in the form of half hour fire resisting doors to the bedroom areas.

ACTION REQUIRED: Ideally, they should be replaced with half hour fire doors.

Rather unusually we can see the underside of the staircase within the boiler room. We do not feel that this is ideal as should there be any problems with the boiler or the electrics and there was a fire it would burn the staircase which is the main form of access for the top floor. We would expect this area to be lined with plasterboard within the “high risk” items that are in it. We assume that the boiler has been repositioned to this area at a later date, as have the electrics.



The underside of the stairs, you can see the boiler directly below it and the exposed underside of the stairs.

ACTION REQUIRED: Lining under the side of the stairs.

It would appear that the staircase has been put in and/or amended without building regulation approval.

ACTION REQUIRED: Your Legal Advisor to check that the property has been officially converted.

5) Noise Transfer

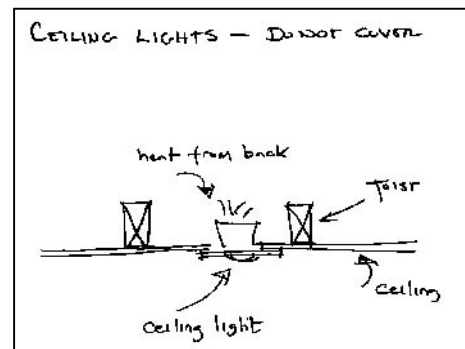
During the course of our survey we did not hear any noise transferring between rooms, but then again there was no one in the other properties! We are increasingly coming across problems of noise transfer between properties particularly where wooden floors are in place as these floor transfer the noise whereas a carpet has a deadening affect. This seems to be something that you have to live with, with many of the older conversions. Newer conversions will have insulation in the floors to reduce this.

6) Services/Ceiling Lights

There are some ceiling lights. Older lights such as these give off heat to the rear and can be a fire hazard. You also may wish to add new or additional socket points added as minimal.



Ceiling lights to your property



ACTION REQUIRED: Have the lights checked by an NIC EIC electrician and also possibly extra electrical sockets added.

ANTICIPATED COST: A few hundred pounds.

Please see the Electrics Section of this Report.

7) Plaster

We tap tested the walls (simply tapping the walls to see if they are hollow) and we found that a fare higher percentage than we would normally find was hollow, this indicated that some dampness was getting in through the walls. This is not that unusual in this age of property but we would advise that if you do wish to redecorate there may be some re-plastering necessary.

8) Lease

We started with some comments with regard to the Lease and this is how we will end.

Not so much a bad point but more a point that needs researching. You need to establish not only how long it remains on the Lease but also what your liabilities and responsibilities under the terms of the Lease you have.

ACTION REQUIRED: Your Legal Advisor to confirm and advise on the above.

DIY/Handyman Type Work

There are numerous other items that we would class as DIY or handyman type work such as re-decorating the rear windows to the kitchen and also securing the ironmongery on the doors and even easing and adjusting the front windows if your skills go this far! These problems are fairly typical for this age, style and type of property. We have detailed these and other issues within the main body of the report.

Purchase Price

We have not been asked to comment upon the purchase price in this instance, we have however referred you to sources of general information on the housing market within the Information on the Property Market Section, which can be found in the Appendices at the end of the Report.

Every Business Transaction has a Risk

Every business transaction has a risk, only you can assess whether that risk is acceptable to you and your circumstances. You should now read the main body of the Report paying particular attention to any “**ACTION REQUIRED**” points.

Estimates of Costs

Where we have offered an estimate of building costs please remember we are not experts in this area. We always recommend you obtain quotations for the large jobs before purchasing the property (preferably three quotes). The cost of building work has many variables such as the cost of labour, we are currently using up to £75 per day for unskilled labour up to £200 per day for an accredited, qualified, skilled tradesman. Other variations include the quality of materials used and how the work is carried out, for example off ladders or from scaffold.

If you obtain builders estimates that vary widely, we would advise the work is probably difficult or open to various interpretations and we would recommend a specification is prepared. It would probably be best to supervise the work if it is complex, both of which we can do if so required.



SUMMARY UPON REFLECTION

The Summary Upon Reflection is a second summary so to speak, which is carried out when we are doing the second or third draft a few days after the initial survey when we have had time to reflect upon our thoughts on the property. We would add the following in this instance:

The main issues we feel relate to the roof area as these have fairly major cost implications. You need to establish through your Legal Advisor, who under the terms of the Lease has responsibilities and liabilities for it. If you do have a share of these we would suggest that you look to negotiate £10,000 (ten thousand pounds) plus off the price due to future liabilities with regard to this area where it is very difficult to estimate future costs. You should obtain a quotation.

As a general comment for any work required we would always recommend that you obtain at least three quotations for any work from a qualified, time served tradesperson or a competent registered building contractor prior to legal completion.

If you so wish we can prepare specifications and obtain quotations for the work, whatever you do don't allow the estate agent to organise the quotes as he will utilise people he regularly uses who know they have to keep in with him/her to get further work and therefore are very keen to please the estate agent, as opposed to you the real client and at the end of the day it doesn't take long to organise.

We would ask that you read the Report and contact us on any issues that you require further clarification on.

MORE ABOUT THE REPORT FORMAT

Just a few more comments about the Report format before you read the actual main body of the Report.

TENURE – LEASEHOLD (OR AS GOOD AS)

We have not seen a copy of the lease and have assumed for the purposes of this report that it is a full repairing and insuring lease and that there are no onerous or unusual clauses, if there are your Legal Advisor/Solicitor should bring these to our attention.

ESTATE AGENTS – FRIEND OR FOE?

It is important to remember that the estate agents are acting for the seller (usually known as the vendor) and not the purchaser and are therefore eager to sell the property (no sale – no fee!). We as your employed Independent Chartered Surveyor represent your interests only.

SOLICITOR/LEGAL ADVISOR

To carry out your legal work you can use a solicitor or a legal advisor. We have used both terms within the report.

TERMS OF ENGAGEMENT/LIMITATIONS

This report is being carried out under our terms of engagement for Residential Building Surveys, as agreed to and signed by yourselves. If you have not seen and signed a copy of our terms of engagement please phone immediately.

OUR AIM IS ONE HUNDRED PERCENT SATISFACTION

Our aim is for you to be completely happy with the service we provide, and we will try and help you in whatever way possible with your house purchase - just phone us.

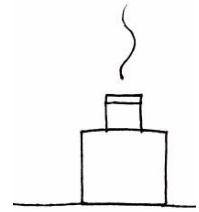
**THE DETAILED PART OF THE REPORT
FOLLOWS, WORKING FROM THE TOP
OF THE PROPERTY DOWNWARDS**



Front Elevation

EXTERNAL

CHIMNEY STACKS AND PARAPET WALLS



Chimney Stacks

Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

As far as we can see, we believe that there is one chimney to the centre of the party wall side of the property.

Chimney One

It was very difficult to see this chimney. We new it was there from the chimney within the main lounge. We literally had to go onto the next street to be able to zoom in on it. Based upon from what we could see (which was not much) we believe that the chimney is in average condition. Of course a closer inspection of this may reveal otherwise!



A photo of the chimney taken with a x16 zoom camera lens.

Parapet Walls

Parapet walls are usually walls that are above roof level and often sit on the boundary of the property.

As already mentioned in the Executive Summary there are parapet walls around this roof. If you look at the butterfly roof sketch it will perhaps be a bit clearer. In this case there are parapet walls to the front, side and rear and dividing wall of the property. We could only see the external view of them; they had a painted render finish. This looked in reasonable condition to the front and part of the side. To the rear, as you can see in the photo in the Executive Summary this is not in particularly good condition indicating that there are problems in this area.

We would also point out that from the surrounding properties, which have a different render finish, this indicates that there may have been replacement or repair over the years. Please see our comments in the Executive Summary with regard to the hairline cracking in the rear wall.



The different render finishes to the parapet walls. This may have been the original design or it may be that repairs have taken place.



Here, if you look to the parapet wall to the top you can see the different colours indicating problems

Render Defined

A sand and cement external coating applied in two or three coats or layers.

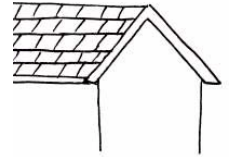
What We Suspect is Occurring

In our educated guess as to what we would find rests upon the hairline cracking to the rear of the property we feel there could be dampness getting into the structure via the parapet walls possibly due to defective flashing, as this is a common problem. We simply do not know without getting into the roof or better still getting onto the roof.

Finally, we have made our best assumptions on the overall condition of the chimneystacks and parapet walls from the parts we could see (our view was very limited). The inspection was made from ground level within the boundaries of the property (unless otherwise stated) using a x16 zoom lens on a digital camera. A closer inspection may reveal latent defects.

Please also see Chimney Breasts, Flues and Fireplaces Section of this Report.

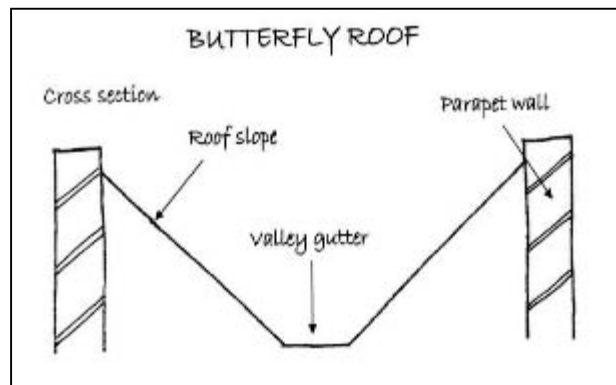
ROOF COVERINGS AND UNDERLAYERS



The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

The underlayer's function is to minimise wind and water damage. Dependent upon the age of your property this may or may not be present, please read on:

Unfortunately, we could not really see the main roof. From our general knowledge of this type, age and style of construction, we believe, as already mentioned, it is a butterfly roof (please see the sketch) and that originally it would have had a slate roof covering.



This is the very best view we have of the roof! Again, this was taken by a x16 zoom camera from the rear of the property. The roof finish looks to be in slate but we believe these are probably manmade slates.

This type of roof is renowned for problems with the central valley gutter and also to the outer parapet wall.

We could just about see what we believe is a concrete tile on the roof. This indicates that the original slate has been removed. In which case concrete tiles are heavier than slate and there should have been additional reinforcement in the roof space. None of which unfortunately we can check as we did not have access to the flat which in turn has access to the roof loft.

ACTION REQUIRED: Access should be obtained to the top flat to gain access to the loft space. We would be more than happy to return to inspect this area if this can be arranged.

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.

Protective Underlayer (Often known as the sarking felt or underfelt)

From the 1940s onwards felts were used underneath tiles/slates to stop wind damage and water penetration, these in more recent years have been replaced with plastic equivalents. These are commonly known as underfelts but now the name is not really appropriate, as felt is not the only material used.

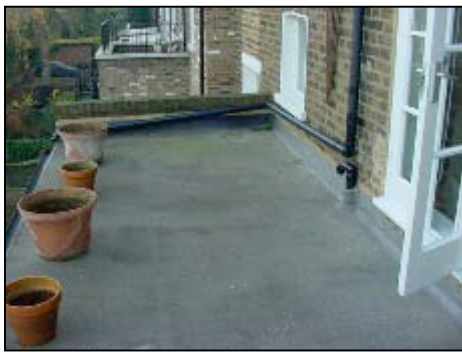
As mentioned, we did not manage to get into the loft space and therefore we cannot comment.

Flat Roofs

Whilst these roofs are called "flat", present building regulations and good building practice presently requires a minimum fall of 12 degrees.

Flat roofs are formed in a variety of materials. Difficulties arise when the water is not discharged from the roof but sits upon it, as this can soon lead to deterioration which flat roofs are renowned for.

There are several flat roofs to the property to the rear. One forms the terrace and the other forms the roof over the kitchen area.



General view of the flat roof.



A close up of the parapet wall reveals that there may be some dampness getting in but this is likely to be minor (the correct detail for this is to have a capping stone on top of the brickwork to stop rain getting in from the top).

Considering each in turn.

Terrace Roof

This has a wood decking over it and from what we could see beneath it is an asphalt covering. Asphalt is a mixture of bitumen and inert mineral matter. If laid upon a suitable base, it is usual to expect a life of approximately 25 years from new. From what we could see this looks in reasonable condition but this is no substitute from actually accessing the ground floor flat or talking to the occupants which unfortunately as they were not in at the time of our survey we were unable to do. Again, we would be more than happy to return if access can be arranged.



Our view of the asphalt was actually quite limited by the wood decking. We would comment that the wood decking has been added obviously at a latter date. It may start to get damp in the base of the property. This is because there should be two bricks between the ground level and the flashing. You can see it is almost level.

Kitchen Roof

This is also an asphalt roof. Generally the asphalt looked in reasonable condition for its age. As already mentioned it is considered to have a life of approximately 25 years from new, assuming it is put down onto a suitable decking. We believe this one is approximately ten years through its useful life. We were pleased to note an asphalt flashing to.

The main concern we have with this kitchen roof is the detail at the front of the property, which appears to allow the water to drain underneath the guttering and staining, and dampness is therefore getting into the kitchen area.



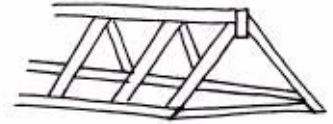
Here you can see the efflorescence on the brickwork where dampness is getting in. The easiest way to resolve this, apart from ensuring the gutters are kept clear is to add extra brackets to the gutters to make sure that it does catch the water or alternatively replace it with a deep flow guttering system.

The latest Building Regulations require flat roofs to be ventilated. Building Regulations are not retrospective but the reason for the requirement is to make sure that any moisture that enters the roof construction is dispelled by way of ventilation. We would suggest that if the opportunity arises ventilation should be provided. This will stop the possibility of fungal growth above the ceiling in the flat roof area.

Also it could not be established if there is insulation within the roof or a vapour barrier, without the vapour barrier and combined with inadequate ventilation there will be an increase in the risk of wet or dry rot.

Finally, all the roofs were inspected from ground level with the aid of a x16 zoom lens on a digital camera. Flat roofs have been inspected from the roof level.

For further comments with regard to ventilation please see the Roof Structure and Loft Section.



ROOF STRUCTURE AND LOFT

(ALSO KNOWN AS ROOF SPACE OR ATTIC SPACE)

The roof structure or framework must be built in a manner which is able to give adequate strength to carry its own weight together with that of the roof covering discussed in the previous section and any superimposed loads such as snow, wind, foot traffic etc.

Main Roof

As there was no access available to the main roof structure we cannot comment on its construction or condition.

ACTION REQUIRED: It is recommended that access be obtained prior to legal completion.

Flat Roofs

Due to the nature of flat roof construction there are no accessible roof voids. We cannot therefore comment on the construction of the flat roof, the condition of supporting materials, standards of ventilation, levels of insulation or the presence of a vapour check.



GUTTERS AND DOWNPIPES

The function of the gutters and downpipes is to carry rainwater from the roof to the ground keeping the main structure as dry as possible.

Defective gutters and downpipes are a common cause of dampness that can, in turn, lead to the development of rot in timbers. Regular inspection and adequate maintenance are therefore essential if serious problems are to be avoided.

Georgian style properties are not keen on drainage pipes or indeed a view of the roof on the main elevations! As is common with many properties of this style the guttering is to the rear. This is in the form of what is known as a box gutter, which then goes down a plastic downpipe, which has a few rather sharp bends (we are sure these are leaking before discharging).

Typically what happens with this age of property is the hopper head is not large enough to contain the water from the roof during large downpours and therefore dampness can occur around the hopper head and downpipes particularly at roof level.

As mentioned, we have not been in the top apartment and therefore cannot comment upon this but this is very common.



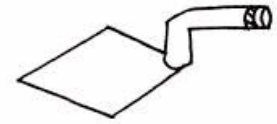
This is the hopper head to the rear of the property. You can see the lead around it; it should be dressed into the hopper head.



Some of the bends in the main downpipes at the rear of your property are very sharp. We are sure they leak when it rains. Rainwater drainage simply is not being filtered out very well.

ACTION REQUIRED: Access needs to be gained to the top apartment. We would however take the educated guess that some dampness is getting. This may be your joint responsibility depending upon the Lease. We usually recommend that either a larger hopper head is used or as a more temporary measure additional lead is added and formed into the box gutter.

Finally, gutters and downpipes have been inspected from ground level. As it was not raining at the time of the inspection it is not possible to confirm 100 per cent that the rainwater installation is free from blockage, leakage etc. or that it is capable of coping with long periods of heavy rainfall. Our comments have therefore been based on our best assumptions.



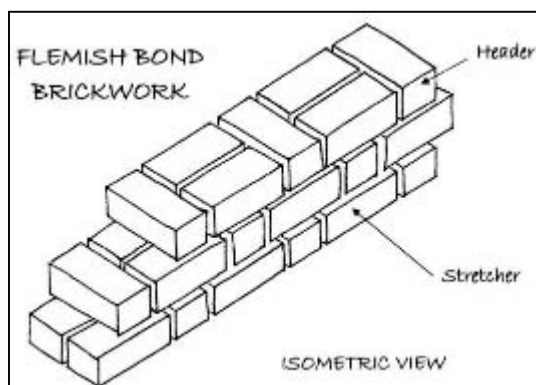
WALLS

External walls need to perform a variety of functions. These include supporting upper floors and the roof structure, resisting dampness, providing adequate thermal and sound insulation, offering resistance to fire and being aesthetically presentable.

Brickwork

This property is brick finished and laid in a lime mortar, which in turn has been re-pointed in a cement mortar. This is all bedded in what is known as Flemish Bond.

The term "Flemish Bond" relates to the way the bricks are bonded together and have a pattern visible from the outside of the property that shows the end of the brick (header), then the side of the brick (stretcher), then the end of the brick, then the side of the brick, and this pattern repeats course after course, i.e. header-stretcher, header-stretcher.



The solid external walls may be liable to penetrating dampness internally, dependent upon their condition and their exposure to the weather. External faces should be kept in good condition.

Before the 19th Century, the practice of building timbers into external walls was almost universal. These were known as bonding timbers. They are of course prone to rot as solid walls allow dampness through. Unfortunately, without opening up the structure, we are unable to confirm if this is the case.

Hairline Cracking

There was hairline cracking to the rear of the property, the windows and the parapet wall area. Please see our comments in the Executive Summary.

Pointing

Taking into consideration the age, type and style of this property we would say that the brickwork and pointing overall is in average condition.

Detailing

Around the windows is a painted render moulding has formed an attractive finish.

Render

Please see the comments in the parapet wall section and in the Executive Summary section.

Render Defined

A sand and cement external coating applied in two or three coats or layers.

Finally, the external walls have been inspected visually from ground level and/or randomly via a ladder. Where the window and door lintels are concealed by brickwork, render and plaster in both cases we cannot comment on their construction or condition. In buildings of this age timber lintels, concrete lintels, rubbed brick lintels and stone lintels are common, which can be susceptible to deterioration that is unseen, particularly if in contact with dampness.

Our comments have been based upon how the brickwork and render has been finished. We have made various assumptions based upon what we could see and how we think the brickwork and render would be if it were opened up for this age, style and type of construction. We are however aware that all is not always as it seems in the building industry and often short cuts are taken. Without opening up the structure we have no way of establishing this.

FOUNDATIONS

The foundations function is, if suitably designed and constructed, to transfer the weight of the property through the soil. As a general comment, many properties prior to the 19th Century have little or no foundations, as we think of them today, and typically a two-storey property would have one metre deep foundations.

Typically, with a property of this period, we would expect to find a stepped brick foundation, approximately half a metre deep.

This property stands on London Clay as with the majority of properties in London. It is therefore more susceptible than most should drains leak or trees be allowed to overgrow etc. It is not unusual to have some settlement in London properties. However, from our inspection of the walls we have found nothing unusual.

We particularly find that Georgian style properties are susceptible to movement. This seems to be due to the large window openings put an additional stress and strain on the various materials used.

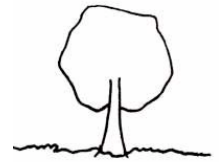
Building Insurance Policy

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

Particularly with leasehold properties they are insured by the property owner/Management Company and recharged back to the leaseholder. With the insurance you nevertheless need to ensure that the insurance cover is adequate should any problems occur.

Finally, we have not excavated the foundations but we have drawn conclusions from our inspection and our general knowledge of this type, age and style of property.

As no excavation has been carried out we cannot be 100 percent certain as to how the foundation has been constructed and we can only offer our best assumptions and an educated guess, which we have duly done.



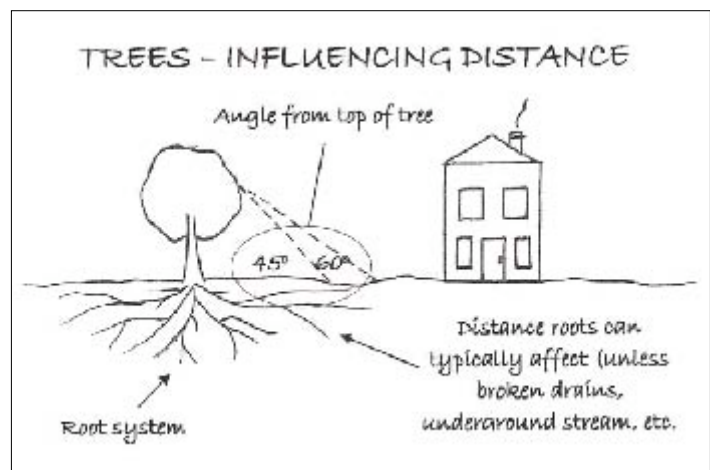
TREES

Trees within influencing distance of a property can affect the foundations by affecting the moisture content of the soil.

There are no trees within influencing distance of the main house, although with one exception which is the tree adjacent to the road. If allowed to grow fully (the Local Authority normally do not allow this) this could affect the property.

Influencing Distance Defined

This is the distance in which a tree may be able to cause damage to the subject property.



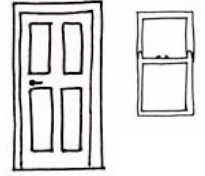
Please also refer to the External Areas Section.

DAMP PROOF COURSE

The Building Act of 1878 required a damp proof course to be added to all newly built properties within the London area. It also required various other basic standards. These requirements were gradually taken up (or should that be grudgingly taken up) throughout London and then the country as a whole, although this took many for it to become standard practice.

In properties of this age it is unlikely that a damp proof course would have been built in originally. However, often they have had damp proof courses added at a later date, we could not see any visible signs of a damp proof course being added.

Finally, sometimes it is difficult for us to identify if there is a damp proof course in a property. We have made our best assumptions based upon our general knowledge of the age, type and style of this property.



EXTERNAL JOINERY

The external joinery part of this section covers windows and doors, and any detailing..

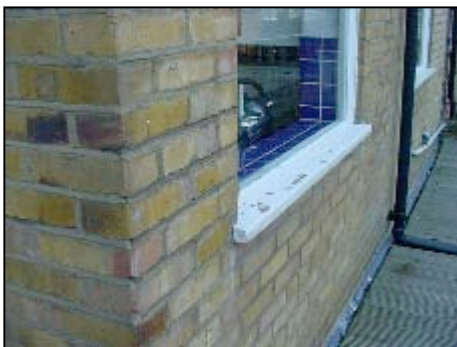
Windows primary functions are to admit light and air, but they also have thermal and sound properties. The doors allow access and egress within the property.

Windows and Doors

The property predominantly has replacement casement windows these are formed in painted timber. The windows are single glazed. Considering their age they are in reasonable condition but you should be made aware that this type of window generally is made out of poorer quality timber and therefore it is very important to keep it decorated regularly. It is disappointing that the original windows have been replaced.

We opened a random sample of these and noted that some of them stuck and in one case (the front left hand bedroom window, all directions given as you face the property) we could not get the window open!

As you would expect with this age of property the doors are purpose made and therefore non-standard. They would be difficult/expensive to replace today – and certainly not available in the average DIY store.



If you look closely in this photo you can see paint is peeling to the windows, we would class this as a DIY job. If you look in the gutters and downpipe section you will see part of the reason for this is that the water is discharging from the roof onto this area rather than into the gutters.

Finally, we have carried out a general and random inspection of the external joinery. In the case of the fascias and soffits it is typically a visual inspection from ground level. With the windows and doors we have usually opened a random selection of these during the course of the survey. In this section we are aiming to give a general overview of the condition of the external joinery. Please also see the Internal Joinery section.



EXTERNAL DECORATIONS

The external decorations act as a protective coat for the building from the elements. Where this protective covering has failed, such as with flaking paintwork, the elements will infiltrate the structure. This is of particular concern as water is one of the major factors in damage to any structure.

In this case, there is external decoration when required needed to the render, the windows and the doors of which seem in reasonable condition at present.

Finally, ideally external redecoration is recommended every four to five years dependent upon the original age of the paint, its exposure to the elements and the materials properties. Where painting takes place outside this maintenance cycle repairs should be expected. Ideally redecoration should be carried out during the better weather between mid-April and mid-September.

Please see our comments in the External Joinery section.

INTERNAL

CEILING, WALLS, PARTITIONS AND FINISHES

In this section we look at the finish applied to the structural elements such as the plasterwork applied to the ceiling joists, walls or partitions, together with the construction of the internal walls and partitions. The concept of internal finishes is relatively modern. Partitioning developed originally to separate the livestock from the human occupants. Finishes have developed from this very functional beginning to their decorative nature of today.

Ceilings

From our visual inspection of the ceilings and our general knowledge of this age and type of construction we believe that the ceilings are likely to be plasterboard. Although originally, they would have been lath and plaster.

We believe this has now been replaced with plasterboard.

Where plasterboard has been used in older construction there can often be cracking caused by movement caused by movement between the older structure and the plasterboard. Simply the modern and old materials do not mix particularly well. You will find hairline cracking where plasterboard sheets meet. For example there is hairline cracking in the front main bedroom.

Plasterboard Defined

The usual name for Gypsum plasterboard which is building board with a core of aerated gypsum, usually enclosed between two sheets of heavy paper, used as a dry lining.

Internal Walls and Partitions

We have carried out a tap test on the internal walls (this is not rocket science, it is literally tapping the walls and listening for the sound made) and found the majority to be solid when tapped, indicating that internal construction is likely to be, for this age of property, heavy-duty studwork. We much prefer this type of construction as it minimises noise transfer between rooms.

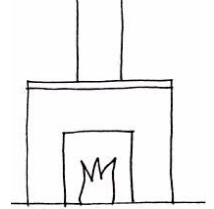
Perimeter Walls

To the perimeter we found some areas of blown plaster. This is not uncommon in properties of this age, (although we would say this is above average) particularly around the window and door openings and around the chimney area. When redecorating you may have to do some re-plastering.

Finally, ceilings, walls and partitions have been inspected from floor level and no opening up has been undertaken (unless permission has been obtained by yourselves). In some cases the materials employed cannot be ascertained without samples being taken and damage being caused.

We cannot comment upon the condition of the structure hidden behind plaster, dry lining, other applied finishes, heavy furniture, fittings and kitchen units with fitted back panels.

CHIMNEY BREASTS, FLUES AND FIREPLACES



With the advent of central heating fireplaces tend to be more a feature than an essential function in most properties.

The chimneybreasts are located on the left hand side (all directions given as you face the front of the property). Taking an educated guess we believe that at one time there would have been fires in every room as was common in this age of property as it was the only form of heating.

Without going into the other properties, we cannot say that the chimneys still exist or not. There were no obvious visual signs of sagging or bowing to the ceiling, this generally occurs when chimneystacks are removed.

At the time of the survey no chimneys were in use. Any chimneys that you do not propose to use should be capped and ventilated to prevent dampness.

Finally, it is strongly recommended that flues be cleaned and checked for obstruction prior to use to minimise the risk of hazardous fumes entering the building.

Please also see the Chimney Stacks, Flues and Parapet Walls section of this Report.

FLOORS



Functionally floors should be capable of withstanding appropriate loading, preventing dampness, have thermal properties and durability. In addition to this upper floors should offer support for ceilings, resistance to fire and resistance to sound transfer.

Upper Ground Floor and First Floor

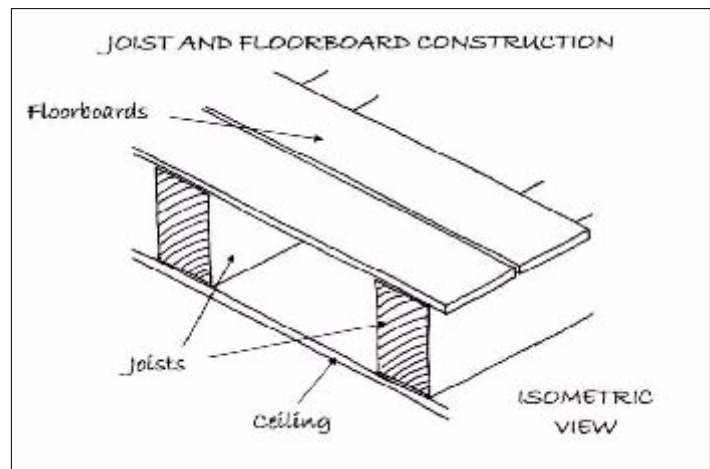
Both the upper ground floor and the first floor have joist and floorboard construction.

The floor is uneven and packing may be required to furniture etc to level it. This is not unusual in properties of this age and could be considered to be part of the overall character of the property!

The floor joists run from the front to the back of the property.

Joist and Floorboard Construction Defined

These are usually at first floor level consisting of a joist supported from the external walls, either built in or, in more modern times, sitting upon joist hangers, sometimes taking additional support from internal walls, with floorboards fixed down upon it.



Finally, we have not been able to view the actual floors themselves due to them being covered with fitted carpets, floor coverings, laminated flooring etc. The comments we have made are based upon our experience and knowledge of this type of construction. We would emphasise that we have not opened up the floors in any way or lifted any floorboards.



DAMPNESS

In this section we look at any problems that are being caused by dampness. It is therefore essential to diagnose the source of the dampness and to treat the actual cause and not the effect of the dampness.

Rising Damp

Rising damp depends upon various components including the porosity of the structure, the supply of water and the rate of evaporation of the material, amongst other things. Rising damp can come from the ground, drawn by capillary action, to varying degrees of intensity and height into the materials above.

As we are above typical ground level it is unlikely that you will get rising damp at this height. No evidence of any significant rising dampness was detected.

Lateral or Penetrating Dampness

This is where water ingress occurs through the walls. This can be for various reasons such as poor pointing or wall materials or inadequate gutters and downpipes, such as poorly jointed gutters.

Tests were taken with a moisture meter at random points to internal walls, floors and other surfaces. Our readings were hampered by the blown plaster, which meant that we were unable to read it in many areas. Where we could get readings it fell in line with what we would expect for this age of property i.e. minor dampness. No evidence of any significant penetrating/lateral dampness was detected.

ACTION REQUIRED: You are likely to need to do some re-plastering when you redecorate.

Condensation

This is where the humidity held within the air meets a cold surface causing condensation.

We could see no obvious signs of condensation, however, it depends upon how you utilise the building. If you do your washing and then dry it in a room without opening a window you will, of course, get condensation. Common sense is needed and a balance between heating and ventilation of properties. Normally opening windows first thing in the morning resolves most condensation issues.

Finally, effective testing was prevented in areas concealed by heavy furniture, fixtures such as kitchen fittings with backboards, wall tiles and wall panelling. We have not carried out tests to BRE Digest 245, but only carried out a visual inspection. In this instance the walls were also dry lined, which stopped us taking tests with our electronic damp meter, therefore we carried out a random, visual inspection.



INTERNAL JOINERY

This section looks at the doors, the stairway, the skirting boards and the kitchen to give a general overview of the internal joinery's condition.

Doors

As is the fashion, the doors have been dipped and stripped of their paint, often unfortunately the process also effects the glue that has been used and ironically the timber used in these doors would not have been considered good enough to be exposed in the way it is today. We would term these doors to be in average condition for their age, type and style. Please see our comments within the Executive Summary with regard to the first floor doors, which should be fire doors.



You can see the bathroom door and also the timber flooring.

Staircase

We noted that the underside of the staircase was exposed; please see our comments in the Executive Summary.



A view of the underside of the stairs.



This is a photo of the main staircase. This is actually the staircase from the upper ground floor to the first floor apartment.

Skirtings

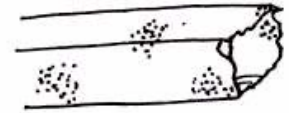
We believe the skirtings are a mixture of the original skirtings and some replacement new skirtings.

Kitchen

From our cursory visual inspection the kitchen looked in reasonable condition, although it has suffered from some general day-to-day marks. We have not tested any of the kitchen appliances.

We have not tested any of the kitchen appliances.

Finally, it should be noted that not all joinery has been inspected. We have viewed a random sample and visually inspected these to give a general overview of the condition. Please also see the External Joinery/Detailing section.



TIMBER DEFECTS

This section considers dry rot, wet rot and woodworm. Wet and Dry rot are species of fungi, both need moisture to develop and both can be very expensive to correct. We would also add that in our experience they are also often wrongly diagnosed.

Dry Rot

*Dry rot is also sometimes known by its Latin name *Serpula lacrymans*. Dry rot requires constant dampness together with a warmish atmosphere and can lead to extensive decay in timber.*

In the areas inspected no evidence was found of any dry rot and we feel it is unlikely that it is occurring, given the conditions found.

Wet Rot

*Wet rot, also known by its Latin name *Contiophora puteana*, is far more common than dry rot. Wet rot darkens and softens the wood and is most commonly seen in window and doorframes, where it can relatively easily be remedied. Where wet rot affects the structural timbers in a property, which are those in the roof and the floor areas, it is more serious.*

In the areas inspected no evidence was found of any wet rot, however there is an outside chance that there is wet rot in the joist ends, they are literally sitting into damp walls.

We would also add that we have found wet rot in butterfly roofs around the gutter area where there have been leaks to valley gutter.

Woodworm

Active woodworm can cause significant damage to timber. There are a variety of woodworm that cause different levels of damage with probably the worst of the most well known being the Death Watch Beetle. Many older properties have woodworm that is no longer active, this can often be considered as part of the overall character of the property.

In the areas inspected no evidence was found of any woodworm. However, given the age of the property, there is an outside chance that there may be some present, although we have not physically seen any.

The roof loft space is the main area that we would normally look for woodworm. However, as you are aware from elsewhere within this report we did not have any access and therefore looked at the exposed timbers and the underside of the staircase leading up to the apartment above you. We did not see any significant outbreak of woodworm in these areas considered still to be active.

ACTION REQUIRED: If you wish to be 100 per cent certain get the property checked when it is empty of fixtures, fittings and furniture etc.

Finally, when you move into the property, floor surfaces should be carefully examined for any signs of insect infestation when furniture and floor coverings are removed together with stored goods. Any signs that are found should be treated to prevent it spreading. However, you need to be aware that many damp and woodworm treatment companies have a vested interest in selling their products and therefore have fairly cleverly worded quotations where they do not state if the woodworm they have found is 'active'. You should ask them specifically if the woodworm is active or not.

We would also comment that any work carried out should have an insurance backed guarantee to ensure that if the company does not exist, or for whatever reason, the guarantee is still valid. More importantly it is essential to ensure that any work carried out is carried out correctly.



INTERNAL DECORATIONS

With paints it should be remembered that up to 1992 lead could be used within paint and prior to this most textured paints (commonly known as Artex) contained an element of asbestos up to 1984, so care should be taken if the paintwork looks old and dated.

You may wish to redecorate to your own personal taste. It is very difficult to advise on how frequently redecoration should take place. This very much depends upon the use and abuse the decoration gets, for example, within hallways this tends to be greater than for example within a spare bedroom.

Finally, we would draw your attention to the fact that removal of existing decorative finishes may cause damage to the underlying plasterwork necessitating repairs and making good prior to redecoration.



THERMAL EFFICIENCY

Up until the mid 1940s we did not really consider insulation in properties, for example it was only in the 1960s that we started putting insulation in the roof and then it was about 50mm, in the 1970s this was upgraded to 100mm. Then we started to think about double glazing and cavity wall insulation. Since then insulation standards have increased considerably and today we are looking at typically using insulation not only in the roof but also in the walls, floors and windows and more recently considerable work has been carried out on how efficient boilers are within properties. Care has to be taken that properties are not insulated disproportionately to the ventilation as this can cause condensation and you should be aware that you need to ventilate any property that is insulated.

Roofs

As we mentioned, we did not gain access to the roof. Although, bear in mind that the apartment above you affectively insulates you as well.

Walls

The walls to this property are solid. It is very difficult to improve thermal efficiency in solid wall construction without major alterations. These will usually affect the external appearance or reduce the internal space.

Windows

The windows are single glazed and therefore do not have particularly good thermal properties.



The internal shutters are a nice feature of the main windows.

Services

Service records should be obtained. It is essential for the services to be regularly maintained to run efficiently.

Summary

Assuming the above is correct, this property is average compared with what we typically see.

Further information can be obtained with regard to energy saving via the Internet on the following pages:

HTTP//www.est.org.uk, which is by the Energy Saving Trust and includes a section on grant aid

or alternatively www.cat.org.uk

or www.ecocentre.org.uk for an alternative technological view.

Finally, we would advise that an energy rating is likely to be required for future house sales.



OTHER MATTERS

In this section we put any other matters that do not fit under our usual headings.

Security

An alarm box was noted both to the front and the rear of the property (although the rear one was rusting badly). It may or may not have an alarm system with it! But it certainly helps deter. A good alarm system should not only help reduce break-ins but also your insurance. We are not experts in this field and therefore cannot comment further. Further information should be obtained from the vendor and the installer at a later date.

Smoke Alarms

Some smoke detectors were noted. The current Building Regulations require that they be wired into the main power supply. Obviously in a property of this age this is difficult, as it would mean having surface mounted wires or cutting wiring into the plaster.

ACTION REQUIRED: We would recommend, for your own safety, that smoke detectors be installed.

We have seen recently a smoke detector that fits within a light fitting (although we have not used these personally), which is charged when the light is switched on, providing it is switched on a certain number of times a year. We feel this is an excellent idea as it alleviates the problems of batteries running out. We would also advise that if you wish to have any general advice the local Fire Authority are usually happy to help.

Insurance

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

SERVICES

This survey does not include any specialist reports on the electricity supply and circuits, heating or drainage, as they were not requested. The comments that follow are based upon a visual inspection carried out as part of the overall Building Survey.

Services and specialist installations have been visually inspected. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied. Conclusive tests can only be undertaken by suitably qualified contractors. The vendor/seller should be requested to provide copies of any service records, test certificates and, ideally, the names and addresses of the installing contractors.

ELECTRICITY



It is strange to think that electricity only started to be used in domestic properties at the turn of the last century with gas lighting still being the norm for a good many years after.

The electric fuses and consumer units were located in the storeroom. The fuse board looked relatively modern.

We carried out an earth test in the kitchen area to the socket point that is normally used for the kettle, this proved satisfactory.



Here we have carried out an earth check on the electrics. Here you can see the meter on the socket point.

Visible wiring and fittings are fairly modern although we did note a large number of single socket points, which you may wish to increase to double.

ACTION REQUIRED: If there is no record of an electrical test having been undertaken within the last five years, it is recommended that the installation be tested by a competent electrician (NICEIC registered) and all recommendations implemented. Thereafter, the installation should be re-tested every five years.

GAS

There is very little we can check for in a gas installation, we do inspect to make sure there is one and that it has a consumer unit and that the boilers are vented. Ideally you should have a service inspection carried out by an independent CORGI registered plumber.

Mains gas is connected. Please note that all alterations or installations of pipework or appliances must be carried out by CORGI registered installers. We did not manage to locate the actual gas meter. The gas boiler is under the staircase.

All gas appliances, pipework and flues should be the subject of an annual service by a competent engineer, i.e., a member of CORGI (the Council of Registered Gas Installers); works to gas appliances etc., by unqualified personnel is illegal. Unless evidence can be provided to confirm that there has been annual servicing we would recommend that you commission such a service prior to use to ensure safe and efficient operation.

ACTION REQUIRED: As a matter of course it is recommended that the entire gas installation is inspected and made good, as necessary, by a CORGI registered contractor. Thereafter the installation should be serviced annually.



PLUMBING AND HEATING

In this section we do our best from a visual inspection to look at how the water is supplied to the property, how the supply is distributed around the property, how it is used to heat the property and how it is discharged from the property.

Water Supply

The controlling stopcock was not located. It is important that its presence is established in case of bursts or leaks. The stopcock and other controlling valves have not been inspected or tested for operational effectiveness.

Water Pressure

When the taps were run to carry out the drainage test we checked the pressure literally by putting a finger over the tap and this seemed good.

The Water Board have to guarantee a certain pressure of water to ensure that things like boilers, particularly the instantaneous ones have a constant supply of pressured water (they would blow up if they didn't!).

Cold Water Cistern

We have not found a water tank. We can only assume that the water is directly fed to the taps. The original idea behind a water tank was to help water pressure and to give an emergency supply of water.

Plumbing

The plumbing, where visible, comprises copper pipework. No significant leakage was noted on the surface, although most of the pipework is concealed in ducts and floors.

Heating

The boiler was located in the storeroom. The model type is a Worcester reference 19/24CBI. We could see it was vented to external air. We are slightly concerned that it is located underneath and an unprotected stairway. We believe that under current building regulations this stairway should be lined.

ACTION REQUIRED: Line the staircase.

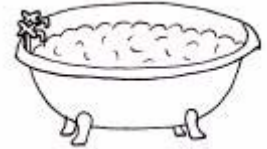
Our limited inspection of the hot water and central heating system revealed no evidence to suggest any serious defects but we would nevertheless recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.

Soil and Vent Pipe

We could not see this so we believe it must be located internally within the structure of the property. The only problem with this sort of internal pipe work is if it leaks it is difficult to identify initially where it is located.

Finally, it should be noted that the supply pipe from the Water Company stopcock to the internal stop tap is the responsibility of the property owner.

We cannot comment on the condition of the water service pipe to the building. It should be appreciated that leaks can occur for some time before signs are apparent on the surface.



BATHROOM FITTINGS

In this section we consider the overall condition of the sanitary fittings such as the bathroom, the kitchen, the utility room and the cloakroom.

The property has a three-piece bathroom suite on the first floor plus a shower corner unit, which looks in reasonable condition, subject to some day-to-day wear and tear, as one would expect. The bath is a smaller size unit. Throughout the bathroom the mastic seal looks to have been recently renewed including the shower, which we checked.

Finally, although we may have already mentioned it above we would reiterate that it is important to ensure that seals are properly made and maintained at the junctions between wall surfaces and baths and showers etc. We normally recommend that it is one of the first jobs that you carry out as part of your DIY on the property, as water getting behind sanitary fittings can lead to unseen deterioration that can be costly, inconvenient and difficult to repair.



MAIN DRAINS

The sanitary system, as we know it now, came into being some 100 years ago during the Victorian era and works so successfully today it is often taken for granted. It is only in recent years that re-investment has taken place to upgrade the original drainage systems.

It is assumed that the foul drains from the property discharge into a public sewer; this should be confirmed by your Legal Advisor prior to exchange of contracts, who should also provide information in respect of any common or shared drains including liability for the maintenance and upkeep of the same.

The cold taps have been run for approximately quarter of an hour in the bathroom and kitchen. No build up or back up was noted.

Inspection Chambers/Manholes

For your information, inspection chambers are required to be provided in the current Building Regulations at each change of direction or where drainage runs join the main run.

Identified Inspection Chambers/Manholes

Unfortunately, we did not find any manholes in the cartilage of the property.

Finally, it must be emphasised that the condition of the property's foul drains can only be ascertained by the carrying out of a test; such a test has not been undertaken. Should there be leaks in the vicinity of the building then problems could occur, particularly with respect to the stability of the building's foundations. Drainage repairs are inevitably costly and may result in damage being caused to those areas of the property beneath, or adjacent to, which the drains have been run.

Rainwater/Surface Water Drainage

Whilst very innocent looking rainwater downpipes can cause lots of problems. If they discharge directly onto the ground they can affect the foundations and even if they are taken away to soak-aways they can attract nearby tree roots or again affect foundations.

Some rainwater drains are taken into the main drainage system, which is now illegal (as we simply do not have the capacity to cope with it), and can cause blockages to the main drains! Here we have done our best from a visual inspection to advise of any particular problems.

The property is likely to have what is known as a combined drain. These type of drains do tend to, at peak periods such as the to rush work or the coming home from work during heavy downfall slow down due to the amount of water that is going into them being far greater than they were originally designed for.

Combined Drains Defined

This is where drains are shared with neighbouring properties.

Finally, rain/surface water drains have not been tested and their condition or effectiveness is not known. Similarly, the adequacy of soak-aways has not been established although you are advised that they tend to silt up and become less effective with time.

Please also see our comments within the Rainwater Goods section.

OUTSIDE AREAS

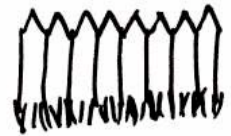
PARKING



Parking is on the road on a first come first serve basis although there is a residence permit system in place. As mentioned, the area is fairly quiet during the time of day we were there, the middle of the day.

Front Area

EXTERNAL AREAS



We have not seen a copy of the Lease and therefore do not know if any of the front area is designated as your space. We assume there is some space for bin storage.

The left hand boundary is usually the responsibility of the subject property.

Rear Area

A terrace at ground floor level with access from the kitchen and also a roof at first floor level directly above the kitchen. Please see our comments in the roof section with regard to these.

Finally, whilst we note the boundaries, these may not be the legal boundaries. Your Legal Advisor should make further enquiries on this point and advise you of your potential liability with regard to any shared structures, boundary walls and fences.

Neighbours

Unfortunately, none of your neighbours were in so we were not able to have our usual question and answer session with them.

We would have been particularly interested in their comments with regard to noise transfer. You may wish to make your own informal enquiries.

POINTS FOR YOUR LEGAL ADVISOR

If you wish to proceed with your purchase of the property a copy of this should be forwarded to your Legal Advisor and the following points should be checked by him/her:

- a) Responsibility for boundaries.
- b) Rights for you to enter onto the adjacent property to maintain any structure situated near or on the boundary and any similar rights your neighbour may have to enter onto your property.
- c) Obtain any certificates, guarantees or approvals in relation to:
 - i) Timber treatments, wet or dry rot infestations.
 - ii) Rising damp treatments.
 - iii) Roof and similar renewals.
 - iv) Central heating installation.
 - v) Planning and Building Regulation Approvals.
 - vi) Any other matters pertinent to the property.
- d) Confirm that there are no defects in the legal Title in respect of the property and all rights associated therewith, e.g., access.
- e) Rights of Way e.g., access, easements and wayleaves.
- f) Liabilities in connection with shared services.

- g) Adjoining roads and services.
- h) Road Schemes/Road Widening.
- i) General development proposals in the locality.
- k) Confirm from enquiries that no underground tunnels, wells, sewers, gases, mining, minerals, site reclamation/contamination etc., exist, have existed or are likely to exist beneath the curtilage of the site upon which the property stands and which could affect the quiet enjoyment, safety or stability of the property, outbuildings or surrounding areas.
- l) Our Report assumes that the site has not been put to contaminative use and no investigations have been made in this respect.
- m) We strongly recommend that Envirosearch or a similar product is used by your Legal Advisor to establish whether this area falls within a flood plain, old landfill site, radon area etc., and brought to its logical conclusion. If your Legal Advisor is not aware of the system please ensure that they contact us and we will advise them of it.
- n) Any other matters brought to your attention within this report.

LOCAL AUTHORITY ENQUIRIES

When you booked this survey we asked you if you required us to carry out a verbal check on the status of the property with the Local Authority regarding whether it is a Listed Building, in a Conservation area and any history that is available over the phone with regard to Planning Applications and Building Control. In this instance you have not requested that we carry out this work.

Finally, your Solicitor should carry out Local Authority enquiries and any additional enquiries he/she feels necessary, advising us if they feel that we can have further input.

Finally, an extract from the book “Sold”!

“When you receive your full structural survey (now known as a Building Survey) or House Buyers Report, do remember that you have requested a list of the property’s faults so it is unlikely to make cheerful reading. Every property has its faults but what you are looking for are the serious ones. If your Report does reveal a serious problem that you had not anticipated when making your offer, the first thing to do is to decide whether you want to take on the repairs if an adjustment is made to the price. If you do, then get quotes for the work as quickly as possible and present your case in a fair manner. Most people are reasonable under such circumstances and will compromise but inevitably there are those who are sufficiently confident of their position to say take it or leave it. In a very active market, prices may have moved up sufficiently to cover the extra expenditure in theory and the vendor will not hasten to point this out but remember that he has probably got a vendor pressing him to proceed quickly and starting with a new purchaser will cause him delay”

It is our policy not to offer a conclusion to ensure that the Building Survey is read in full and the comments are taken in context.

If you would like any further advice on any of the issues discussed (or indeed any that have not been discussed!) then please do not hesitate to contact us on **0800 298 5424**.

For and on Behalf of

1stAssociated

This Report is dated:

REFERENCES

The repair and maintenance of houses
Published by Estates Gazette Limited

Life expectancies of building components
*Published by Royal Institution of Chartered Surveyors and
Building Research Establishment*

Surveying buildings
*By Malcolm Hollis 4th edition published by Royal Institution of
Chartered Surveyors Books.*

House Builders Bible
By Mark Brinkley, Published by Burlington Press

APPENDICES

LIMITATIONS

Our limitations are as the agreed Terms and Conditions of Engagement.

CONDITIONS OF ENGAGEMENT

The report has been prepared in accordance with our Conditions of Engagement and should be regarded as a comment on the overall condition of the property and the quality of its structure and not as an inventory of every single defect. It relates to those parts of the property that were reasonably and safely accessible at the time of the inspection, but you should be aware that defects can subsequently develop particularly if you do not follow the recommendations.

ENGLISH LAW

We would remind you that this report should not be published or reproduced in any way without the surveyor's expressed permission and is governed by English Law and any dispute arising there from shall be adjudicated upon only by the English Courts.

SOLE USE

This report is for the sole use of the named Client and is confidential to the Client and his professional advisors. Any other persons rely on the Report at their own risk.

ONLY HUMAN!

Although we are pointing out the obvious, our Surveyors obviously can't see through walls, floors, heavy furniture, fixed kitchen units etc. they have therefore made their best assumptions in these areas.

As this is a one off inspection, we cannot guarantee that there are no other defects than those mentioned in the report and also that defects can subsequently develop.

WEATHER

It was a bright winters day at the time of the inspection. The weather did not hamper the survey.

We would add that some defects only become apparent upon physical occupation or are only present as a result of the extremes of weather (which are becoming a more frequent occurrence). As you are probably aware the year 2000 was the wettest year on record, 2003 the driest year on record and August 2004 was the wettest August on record in many areas, this may have adverse effects on lots of buildings in years to come.

NOT LOCAL

It should be noted that we are not local surveyors to this area and are carrying out the work without the benefits of local knowledge on such things as soil conditions, aeroplane flight paths, and common defects in materials used in the area etc.

EMPTY PROPERTY

The property was empty at the time of our survey, we were therefore not able to carry out our usual question and answer session or have our questionnaire filled out.

INSPECTION LIMITED

Unfortunately in this instance our inspection has been very limited due to the lack of access to the main roof and also the top apartment and the ground floor apartment.

INFORMATION ON THE PROPERTY MARKET

We used to include within our reports articles on the property market that we thought would be of interest and informative to you, however we were concerned that in some cases these did not offer the latest information. We have therefore decided to recommend various websites to you, however it is important to realise the vested interest the parties may have and the limits to the information.

www.landreg.org.uk

This records the ownership of interests in registered land in England and Wales and issues a residential property price report quarterly, which is free of charge. The Land Registry is a Government body and records all transactions as far as we are aware, although critics of it would argue that the information is often many months out of date.

www.rics.org.uk

The Royal Institution of Chartered Surveyors offer quarterly reports via their members. Although this has been criticised as being subjective and also limited, historically their predictions have been found to be reasonably accurate.

www.halifax.co.uk and www.nationwide.co.uk

Surveys have been carried out by these two companies, one now a bank and the other a building society for many years. Information from these surveys is often carried in the national press. It should be remembered that the surveys only relate to mortgaged properties, of which it is generally considered represents only 75% of the market. It should also be remembered that the national coverage of the two companies differs and that they may be offering various incentives on different mortgages, which may taint the quality of information offered. That said they do try to adjust for this, the success or otherwise of this is hard to establish.

www.hometrack.co.uk

From what we can see this is an internet based company who say they offer independent property research (in fact they say they are the only independent company), although they also advise that they are part of a property related group that has bought and sold over 60 million pounds worth of residential property, which indicates that they may have a vested interest. They do also comment that they have carried out their own independent surveys and they have at least two Hometrack recommended estate agents in each postcode area. We would refer you to the 'About us' section within their website to understand better where their information is coming from. We would comment that we have been pleasantly surprised with the quality of information provided by the company.

Motleyfool.co.uk

We also like the Motley Fool website which is a general financial site and although it is selling financial services and other services they do tend to give a very readable view of the housing market.