

SCHEDULE OF CONDITION

PREPARED IN XXXXX
OF
A Good Food Country Pub



FOR

Mr A Client

PREPARED BY

GEM Associates Limited

INDEPENDENT CHARTERED SURVEYORS

FOR ANY HELP OR ASSISTANCE CALL FREE PHONE:

0800 298 5424

or

visit our website:

www.1stAssociated.co.uk

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Address

XXXXXXXXXXXXXXXXXX

**Prospective
Tenant:**

Mr and Mrs xxx (who currently
have a tenancy in the property)

**Repairing
Covenant:**

We have assumed the property has a
full repairing and insuring covenant.
Your legal adviser should confirm
this and advise us of any unusual or
onerous clauses immediately.

Photographs:

We have taken approximately 150
photographs during the course of
this Schedule of Condition. We
reserve the right to produce these
photographs to establish the
condition of the property over and
above the ones included in the
report.

Limitations:

As per our original Terms of
Engagement, we would remind you
specifically that:

We have not inspected parts of the
structure that were covered,
unexposed or inaccessible during
our inspection. We therefore cannot
confirm that such parts are free from
defect, structural or otherwise.

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Limitations
Continued:

We have not determined whether any hazardous materials such as high alumina cement, calcium chloride, asbestos etc have been used in the construction.

Our report is for the use of the party to whom it is addressed above and no responsibility is accepted under the Third Parties Act or for any third parties who use this report in whole or in part.

We have not carried out a comprehensive test of any electrical, mechanical or drainage services. We therefore cannot confirm that they are operational and in good condition. If you wish us to arrange tests, please advise.

We have not carried out or arranged for specialists to undertake any reports, for example an environmental report or an audit report upon the property. We are therefore unable to advise whether any contaminated or other adverse environmental issues affect the site.

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Limitations
Continued:

The Schedule of Condition has been prepared by GEM Associates Ltd in xxxxx. The inspection was carried out on Tuesday xxxx and xxxxx. This report does not constitute a Structural Survey (now known as a Building Survey).

Orientation:

All directions are taken as if viewing the property from the front, which we have taken to be xxxx Road.

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INTRODUCTION

The xxxxx Inn is located on the xxxxx Road on the outskirts of xxxxx, close to xxxxx.

Market Value

We have not been asked in this instance to look at trading figures or offer a value on the property or business.

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SUMMARY OF ISSUES

It is always difficult to prepare a summary, particularly on business properties which both represent someone's livelihood and home. We are aware that our perception of business and property issues may not be the same as yours. We therefore recommend that you read the report in full, together with our summary, and if there are any issues you would like clarifying or feel are critical for you in this particular instance then please contact us immediately. We would be more than happy to discuss the matter with you and amend our summary appropriately.

In this instance we feel that the roofs are the main issue, together with the suspended timber floor to the rear conservatory area.

We believe the roofs are an issue because the flat roofs and the thatched roof both have limited life, in addition to this both have detailing defects. In the case of the thatch, for example, it is generally considered that a steeper pitch is more appropriate for this type of thatch; this has come about due to modifications of the roof over the years. No doubt with good intent, but which ultimately has resulted in a thatched roof with a lower than average life expectancy.

We believe in the course of your negotiations that extensive work should be carried out to the thatch, ideally replacing it with reed thatch.

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The flat roofs are flat and do not have a suitable or adequate drainage system thereby allowing water to sit on the roofs. The ideal alternative here is to put a pitched roof over the top of the flat roofs, or alternatively as a minimum, to put insulation material cut to falls on the roof. In addition to this, associated rainwater goods also need renewal and to discharge properly.

Probably the most difficult area to comment upon is the suspended timber floor to the rear of the property. From what we can see there is no suitable damp proof course membrane to stop dampness getting in and there is no venting to prevent wet rot/dry rot from occurring. Ideally the floor should be opened up to establish its condition. We would recommend that it be replaced with a solid flooring. Whilst under the terms of a Full Repairing and Insuring Lease it is not usual for the landlord to be able to ask you to improve the area. He could ask you to reinstate the flooring.

In addition to these three main areas, there are numerous other items that need rectifying, from the inappropriate practice of using a cement mortar render on the outside of the property (this will not allow the building to move seasonally as it must) to the poor paintwork and preparation to the new windows and render work, which is already allowing blistering to occur, which obviously will become your responsibility to redecorate.

We do however feel that if a sensible agreement can be made on the three main areas mentioned, the thatch roof, the flat roof and the suspended timber flooring and

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appropriate agreement on the condition of disrepair generally, then there is a basis for negotiation.

When you look through our report you will see numerous items of action required. All of these items could be served under a Dilapidations Notice on yourselves the day after you sign the Full Repairing and Insuring Lease, regardless of what the Area Manager or the Business Development Manager says; legally you would not have a leg to stand on.

Notwithstanding the aforementioned, we do appreciate that the property is purely the means through which you carry out your trade. However, it can be a source of considerable expenditure and equally can fetch a premium when you come to sell it.

We have no way of predicting how the future pub lease property market will develop, however we have seen over the past ten or so years brewery based businesses moving to retail businesses moving almost to the point of becoming property companies. As such their key focus is upon achieving rental income rather than beer sales. As these companies (or indeed if these companies) move towards being property based they become more and more reliant on additional property practices, such as the serving of Dilapidation Notices upon tenants.

Once you have had a chance to read our report in full and have given it due consideration, please contact us and we would be more than happy to come down and discuss its contents.

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SUMMARY OF CONSTRUCTION

External

Main Roof:	straw thatch – work required.
Rear Roof:	large flat roof, part of which is a fibreglass matting and would not take, in our opinion, human weight – work required.
Left Hand Side Roof:	Mineral felt.
Walls:	Finished in painted render and painted brickwork. Alterations have taken place throughout the years which means that much of the original property has been replaced, in many places, we would comment, inappropriately i.e. the use of cement render where a lime mortar should have been used. There are hairline cracks to the render.
Windows:	A mixture of painted timber casement windows and double-glazed plastic windows – work required.
Rainwater Goods:	To the rear of the property are plastic rainwater goods.

Internal

Floors:	First Floor: Joist and floorboard Ground Floor: Assumed concrete with a joist and floorboard section to the rear of the property
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Services

We are advised that there is mains electricity, drains and water with a tanked oil supply.

The above terms are explained in full in the main body of the Report. We have used the term 'assumed' as we have not opened up the structure.

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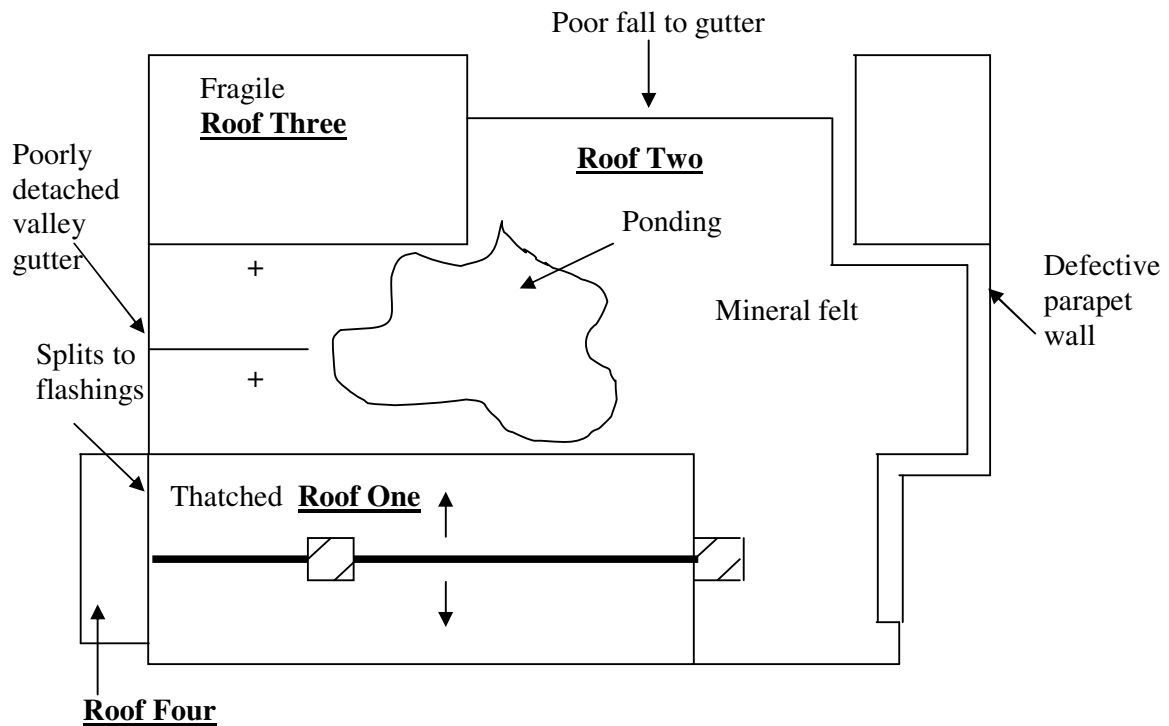
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
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EXTERNAL ROOF PLAN

A sample of issues and problems identified.



Key

 = Chimney

→ = Direction of roof pitch

+ = Flat roof

Not to scale

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ACCOMMODATION AND FACILITIES

The trading area consists of:

Front of House

- Two bars and servery
- One male toilet, consisting of one wash hand basin, three urinals and one WC
- One female toilet, consisting of one wash hand basin and two WCs

Back of House

- Catering kitchen (there is no private kitchen)
- A prep area
- A washing machine area
- A ground floor cellar

Externally

- A car park is across the road and adjacent to the public house (we have assumed this forms part of the same lease)
- A garden to the rear and various storage areas

Accommodation

The accommodation consists of:

- Two bedrooms
- A reception room
- A shower room

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REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

PHOTOGRAPHS



We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil has been used to highlight a specific area.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property.

Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.

MARKET VALUE

We have not been asked to comment upon the market value in this instance. We have not seen copies of the trading figures or the accounts.

EVERY BUSINESS TRANSACTION HAS A RISK

Every business transaction has a risk, only you can assess whether that risk is acceptable to you and your circumstances. You should now read the main body of the Report paying particular attention to any “**ACTION REQUIRED**” points.

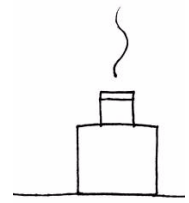
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CHIMNEY STACKS



Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

Central Chimney

Brick built with two large clay chimney pots. It was not possible to view haunchings fully, although from what we could see there was a covering of moss, which would indicate water is settling on the haunchings. We also noted that the flashing, due to the thatch dropping, would be unlikely to be giving a watertight bond.



Thatching has dropped away from the lead. Also note the exposed deteriorating render

Action required: Re-form lead and give a watertight bond and check and repair haunching.



Close up of base of chimney, haunching can be seen to have lost covering and also hairline cracks are visible within the chimney pots

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Right Hand Chimney

Painted brickwork, some of which is in need of re-pointing. We had a limited view of the haunching; this could be seen to have been repaired. The flashing appeared defective.

Action required: Ad hoc re-pointing, check the haunching and re-form the lead work.

Finally, we have made our best assumptions on the overall condition of the ???????? chimney stacks, parapet walls, flues, dormer windows and roof lights from the parts we could see. The inspection was made from ground level within the boundaries of the property (unless otherwise stated) using a x16 zoom lens on a digital camera. A closer inspection may reveal latent defects.

Please also see Chimney Breasts, Flues and Fireplaces Section of this Report



Note how the thatch has dropped away from the lead flashing



Close up of the lead flashing to the thatch, showing gap.



Repair to haunching can just be seen

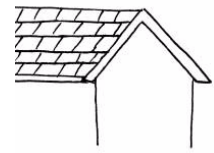
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ROOF COVERINGS AND UNDERLAYERS



The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

The underlayer's function is to minimise wind and water damage. Dependent upon the age of your property this may or may not be present, please read on:

Roofs

The property has a thatched roof and extensive flat roofing to the rear. In general we would comment that the roof areas are likely to be a problem on this particular property. This is because the thatch is coming to the end of its natural life and the flat roof does not have sufficient or suitable falls, or indeed in one area structural integrity that would meet current building regulation requirements.

Roof One – Main Roof

This property has a straw thatched roof with a chicken wire covering (to stop the birds from using it for nesting material). We are advised that the thatch is some eight years old. Typically this type of thatch would have a life of 10 – 15 years, however in this instance, due to the pitch of the roof not being as steep as is traditional, the thatch is already starting to mulch in some areas, particularly on the rear of the property which is north facing and therefore does not get the sun.



Chicken wire indicates where thatch was prior to its settling

Action required: Intermediary repair work is necessary with all thatch, and in this instance we feel that it should now be carried out and close checks should be made of the flashings.



Mulching of straw thatch on the rear elevation

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Close up of valley gutter – terrible detail as it is likely to get blocked very easily, there have also been leaks in the area



Roof Two – Main Rear Flat Roof

This area consists of many roofs that have been added over the years as the property has been enlarged. We would comment that the main issue with this roof is that it is flat as opposed to the twelve and a half degrees that good practise would dictate it is laid to. This has caused extensive ponding in the centre of the roof that can only get worse. There is also a very poor shallow valley gutter detail. These are renowned for blocking, and at the time of our survey it was full of leaves.



Ponding

Action required: We would recommend that the entire roof be re-felted using an insulation cut to falls system to generate falls on the roof and also provide suitable thermal insulation (presently you will be losing a lot of heat through the roof) or alternatively a pitched roof should be added.



Further ponding and overview of the fragile roof

We also noted that in some areas flashings were not lead and we would recommend that they all be replaced in lead. We also noted that the parapet wall to the right hand side of the property had been repaired, which no doubt is due to water penetration. We would suggest that the entire parapet is reconstructed with a damp proof membrane.

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Rear right hand side of roof –
vegetation overgrowing



Red pencil indicates where the
defective parapet wall has been
repaired



Lack of fall and outlet to the
front right hand side of Roof
Two



We would recommend the felt
flashing be replaced with lead as
it is starting to drop. Note also
the various and many repairs to
the parapet wall

Poor flash band repair.
Flash band is a
temporary product



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Roof Three

We believe this was once a polycarbonate conservatory roof. It has now been covered with fibreglass-type membrane and is not suitable for walking upon in our opinion.

Action required: The entirety of the roof needs to be replaced with a roof that meets current building regulations and good practise.



Fragile roof

Roof Four – Left Hand Side Roof

This is a small roof in reasonable condition, although it was noted that the lead flashing is starting to split.

Action required: Replace lead flashing and carry out ad hoc repairs.



General view. Electrical cables should be placed in conduit



Hairline cracking to lead flashing

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Rainwater Goods – Plastic

The rainwater goods to the rear of the property do not fall towards down pipes and therefore need re-aligning (many were full of water and leaves). In turn, the down pipes do not appear to discharge into any drainage. In one instance it literally discharges onto the wall.

Action required: In conjunction with the roof work supply and fit new guttering, preferably deep flow and provide down pipes with suitable soak away.

We would draw your attention particularly to the rear gutter on the right hand side, which at present discharges into the conservatory building.

Roof Voids

The main roof is accessed from the right hand bedroom. There is no ladder, boarding or light; all of which we would recommend are added. We have therefore carried out an inspection by torchlight. The property has a cut timber roof in a closed coupled style. In addition to this it has one collar giving an 'A' frame configuration to approximately the centre of the property.

The vast majority of the timber is not original and indeed the old steeper, more appropriate, pitch can be seen within the roof space. This is part of the reason why the thatch is deteriorating fairly quickly.

The remaining timbers are all relatively new (in surveying terms we mean the last 50 years). As we would expect, most of the timbers have woodworm, this does however slightly concern us because the timbers are relatively new.

Action required: We would therefore recommend an anode woodworm trap is used during the breeding season the check if the woodworm is still active and if so take appropriate action.

Within the roof we noted two plastic water tanks and a header tank for the central heating. We have assumed all are relatively new.

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There is insulation in the roof in the form of left over straw. This is not ideal and we would suggest that it is removed.

Action required: Remove all straw from roof space (fire hazard) and replace with a quilted insulation.

There is one chimney visible within the room; this is the central chimney which has a flue system running through it. We noted that there is a vertical crack within the chimney; this is probably caused by condensation within the chimneystack, which is a problem with the older flue systems.

The gable ends in both instances showed a fairly new (last 100 years) brick.



General view of roof showing collar running horizontally and on left hand side the old pitch of the roof



Close up of timber showing woodworm



Close up view of plastic water tanks



View of central chimney. Pencil indicates crack within it. This chimney is flued, therefore it is likely to be condensation

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Far left hand side of roof. We would recommend electric cables be put in conduit due to high fire risk in this area. See comments on next photo.



Straw in the roof represents a fire hazard greater than it is necessary to take. We suggest the straw is removed and a fire detector is added.



New timbers have replaced the old. In my discussions with you, we believe the brewery would have carried this out when they re-roofed the property. You should get written confirmation from them that the timber was suitably treated.



Bird excrement indicates that vermin has accessed the roof. The fascias and soffits should be therefore checked and netted to stop this from occurring.



Gable end. The brick size indicates that these have been renewed within the last 100 years



Vertical splits to timber

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In the past the woodworm has been extensive and has caused structural problems, which is why we are recommending an anode testing device is used to check if the woodworm is still active (this will have to be carried out in the wood worm breeding season).



Roof Voids – Flat Roofs

As is common with flat roofs we are not able to access them and therefore cannot comment upon their construction or condition. We would however like to make the general comment that given the ponding on the roof above there may be leaks coming in through the roof structure which are not yet visible internally.

Alternatively, due to the high humidity traditionally within pubs (from the breath of the clientele) there is the possibility that interstitial condensation has occurred within the roof structure; without opening up we cannot confirm further.

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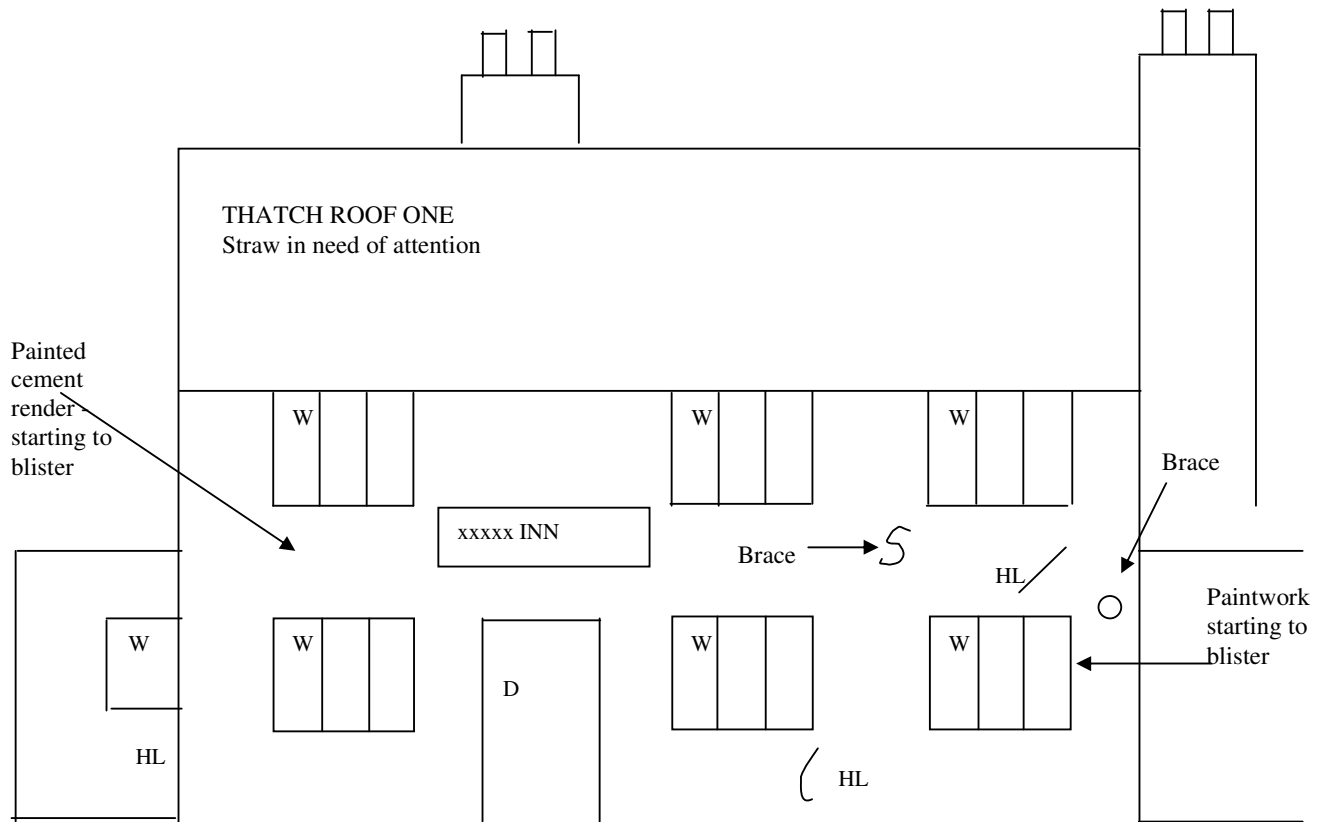
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FRONT ELEVATION

This sketch drawing shows a sample of the problems and issues identified.



Key

HL = Hairline Cracks

W = Window

D = Door

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FRONT ELEVATION



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FRONT ELEVATION

Walls

The wall has a painted render finish. The render is cement mortar, which is not ideal and indeed not in keeping with a listed property. We noted some of the paintwork was starting to blister, which would indicate that it has been painted in damp or humid weather. The paint acts as a protective coat and therefore needs to be redecorated as soon as possible.

Seasonal movement within the property has lead to hairline cracking within the render. We suspect this will get worse over the years. We also noted that on the far left hand of the property there is some impact damage.

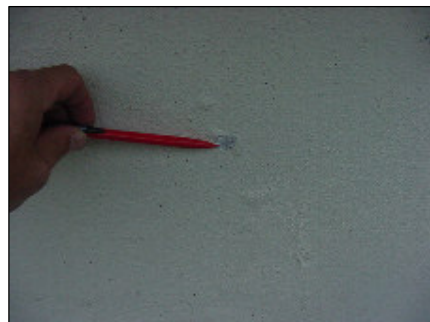
Action required: Seal all hairline cracks immediately with mastic. Carry out ad hoc repairs to blown render as part of an overall repair and redecoration program.



Impact damage to incorrectly used cement render



Hairline cracking to incorrectly used cement render



Paintwork render starting to blister

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Bracing

It was noted that there is a brace to the front of the property. This usually indicates that bulging has occurred in the structure, commonly due to first floor joist failure. As we have not opened up the structure we cannot comment further upon this other than to say that the brace looks to have been there for some considerable time and there are no fractures around it in the render; although there is general undulation, bulging and leaning in the building/render as a whole.

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External Joinery

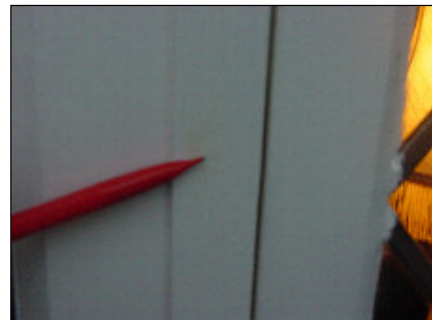
Windows

Ground Floor: The three ground floor windows are as new. We noted that blistering was starting to occur in the paintwork in some areas.

Action Required: Redecorate windows.



Blistering starting to occur to new window



Staining indicates that the timber was not knotted or prepared correctly

First Floor: Filling has occurred in the past rather than splicing in new timber. We also noted elements of the ironmongery rusting.

Action required: Splice in new timber and redecorate.

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Note rusting to ironmongery, indicating that a rust stop agent has not been used



Note cracking starting to occur to base of window, even though it was only painted recently

Door

Front Door: The front door is timber and likely to allow water in during periods of heavy rain, due to the level being close to the ground level externally, and there being a fall towards the door.

The frame to the doorway shows signs that in the past it has been repaired. We also noted that the paint is starting to open up on both the frame and the door.

Action required: Provide a running gully to the entrance.

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Signs

Signage is in reasonable condition.

Other

Given the age of the property there may be timber lintels present. We have no way of establishing this without opening up the property.

We noted that timber inserts have been used into the render to provide boarding for the lighting. These areas will of course be susceptible to rot.

We noted that the concrete forecourt was damaged and we recommend that this be resurfaced.

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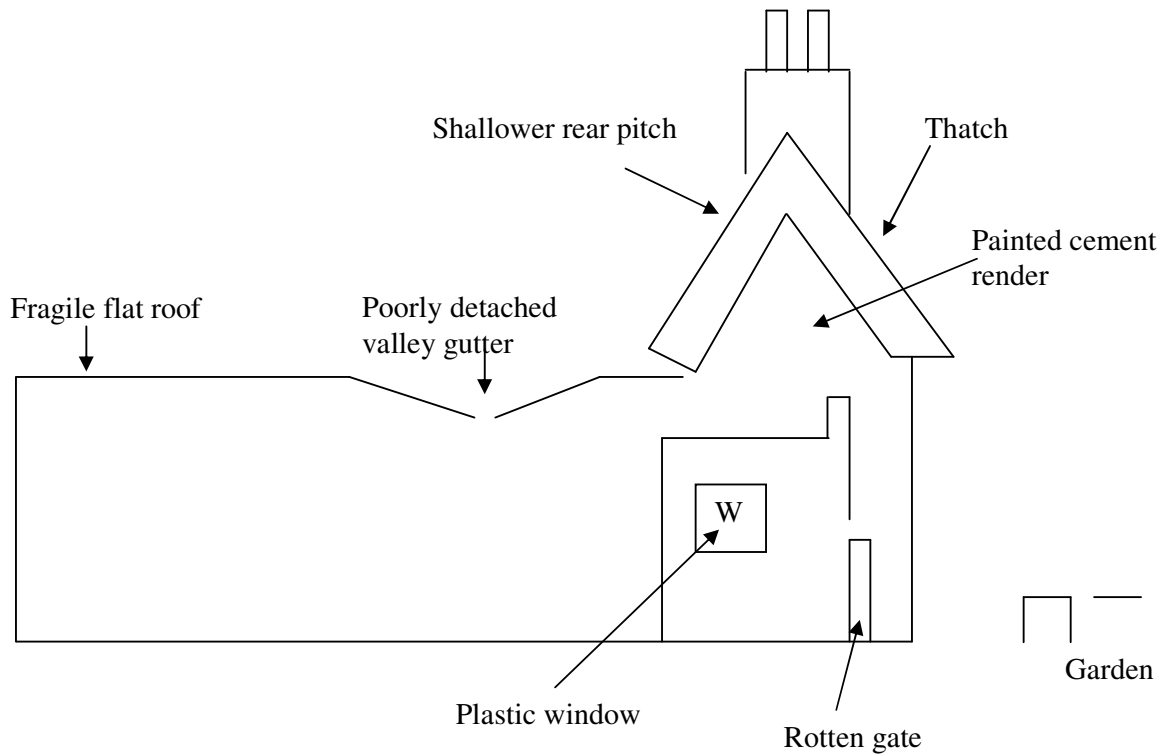
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LEFT HAND SIDE ELEVATION

This sketch drawing shows a sample of the problems and issues identified.



Key

W = Window

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LEFT HAND SIDE ELEVATION



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LEFT HAND SIDE ELEVATION

Walls

Painted render

Cement mortar render has been used inappropriately; a lime mortar base render should have been used for this age of property.

Painted brick work

There is a painted single skin of brickwork in a stretcher bond which has allowed dampness in. Mould was noted internally within the prep room.

External Joinery

Door

Painted wooden door with vision panel, again ground level is close to door level and water may enter the property through this area during periods of heavy rain.



Ground level close to door level, which may allow water to enter property

Windows

Plastic windows have been utilised which is not in keeping with a Listed property and is likely to be contravening Listed Building regulations.

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Fascias and Soffits

There is a painted timber fascia to the rear part of the flat roof that is starting to flake and requires redecoration. There is also a stained fascia to the rear flat roof, which looks superficially in reasonable condition.

Rainwater Goods

There is a very poorly detailed valley gutter; re-roofing should amend this detail.

Signs

Not applicable.

Other

We noted a rotten gate associated fence post.

We noted that the concrete forecourt was damaged and we recommend that this be resurfaced.

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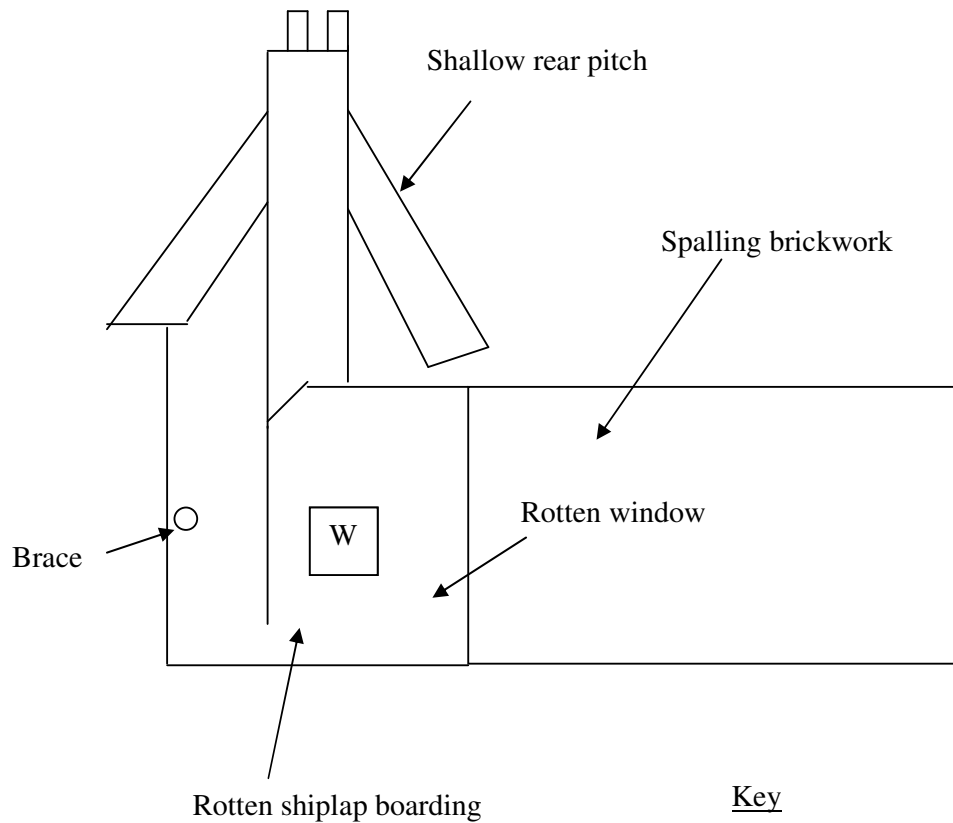
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RIGHT HAND SIDE ELEVATION

This sketch drawing shows a sample of the problems and issues identified.



Key

W = Window

Not to scale

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RIGHT HAND SIDE ELEVATION



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RIGHT HAND SIDE ELEVATION

Walls

This elevation has painted brickwork. There is an area that needs re-pointing to the centre of the chimney. We also noted spalling to the right hand side, close to the adjoining garages. A mixture of the vegetation that is attached to the wall and leaking through the top and side of the parapet probably causes this. Generally we would comment that the paint has lost its key and this is due to the brickwork being damp beneath.



Deteriorating parapet wall.
Vegetation should be cut back

Action required: Hack off loose areas of paintwork, repair brickwork and redecorate. Cut back vegetation and supply and fit new flashing and re-build parapet wall as previously mentioned.



Paintwork has lost its key

Shiplap Boarding

Painted timber shiplap boarding is rotten in various areas, particularly to the base.



Rotten shiplap boarding. Red pencil is pushed through the timber

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External Joinery

Windows

The toilet window has wet rot and it is probably more economic to replace the entire window.



Rotten timber window. Pencil is pushed through the timber window

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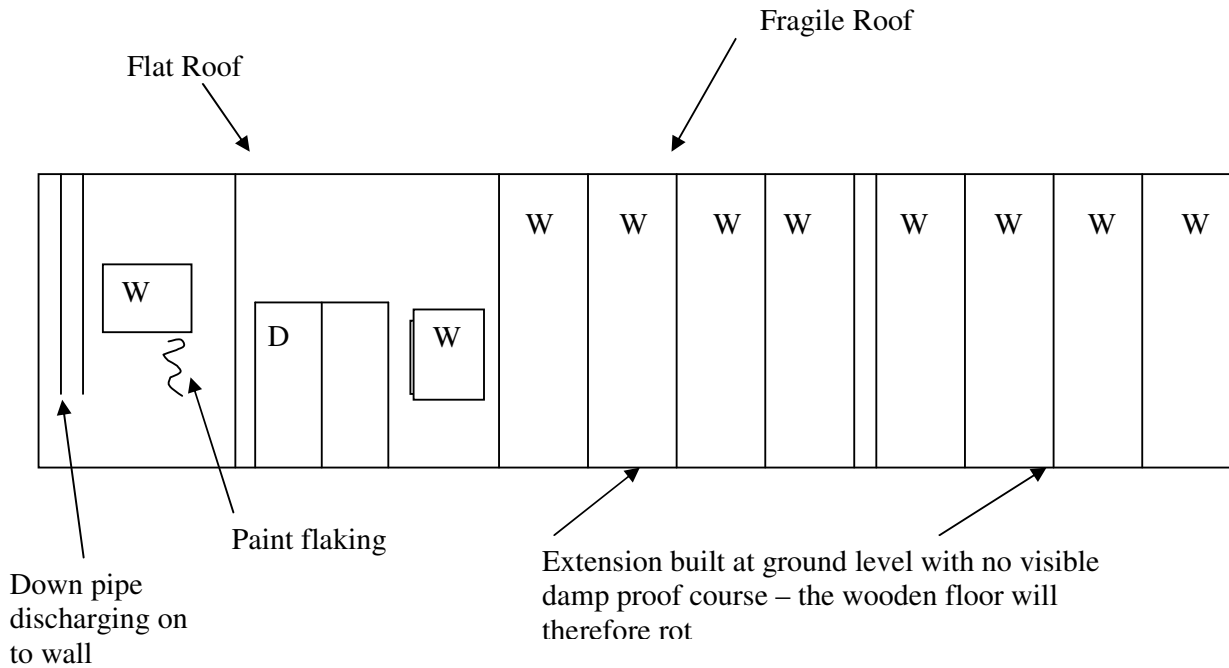
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REAR ELEVATION

This sketch drawing shows a sample of the problems and issues identified.



Key

W = Window

D = Door

Not to scale

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REAR ELEVATION



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REAR ELEVATION

We are advised that the extension was built without formal planning permission.

Action required: Your legal adviser should confirm the Local Authority Planning and Building Control and Listed Building Authority have authorised the extension.

Walls

Predominantly double-glazed with a painted brickwork area to the left hand side. On part of this the paint is flaking, we believe due to water being discharged from the roof/gutter above.



Paint blistering with walls starting to spall due to a combination of the leaking gutter above and poor roof detailing

Conservatory



Close up of the front of the conservatory, this is at ground level, therefore it will allow dampness into the suspended timber floor on the other side



Dampness can be seen to be occurring at the junction with the original brick structure and the conservatory. There is a suspended timber floor beneath this, which we believe will be rotten

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The red pencil indicates the only area where we were able to see a damp proof membrane. This is ineffective as it should be 150 mm above ground level



External Joinery

Doors

There is a stained timber double door with associated windows.



Windows

As mentioned the majority of this elevation is glazed with a painted timber window – minor flaking.

Fascias and Soffits

The stained timber fascia is starting to gather moss, indicating that water ingress is occurring.

Action required: Prepare and re-stain.

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Rainwater Goods

The plastic rainwater goods are almost ineffective on this elevation, as they are not falling towards the down pipe. The down pipe itself discharges onto the wall, which is not satisfactory and should be taken to a soak away.



Water sitting in gutter with nowhere to discharge to other than through the structure

Action required: As previously mentioned, renew all rainwater goods utilising a deep flow gutter system and discharging into a soak away.

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EXTERNAL AREAS

Car Park

The entrance to the car park is in tarmac and the topcoat has worn through to the base coats.

Action required: This requires filling, compacting, a new topcoat and levelling.



Pothole to entrance of car park

The car park itself is shingled. There are several potholes within the car park, one particular large one opposite the entrance.



Pothole requires filling

Signage

The timber framework and posts supporting the signage generally require re-decoration.



Swing signpost, paint flaking and general deterioration

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Boundary Walls

Your legal adviser should establish ownership and responsibilities for the boundary walls and fences.

Surrounding Areas

Areas of concrete surrounding the property are generally damaged and have become broken up over the years.



Damage to surrounding concrete paved area

Action required: A new topcoat.

BARN

Roof

Pitched concrete tile roof covering (with some clay tiles). Many of the original tiles still remaining to the rear elevation, which is not visible as it adjoins neighbouring properties, are the old peg tiles, although the majority of the pegs have been replaced with nails, which we could see were corroding. The elevation closest to the public house has concrete tiles; these have a heavy moss coating, which will, no doubt, be blocking the guttering beneath.



Tiled pitched roof with moss covering

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Spalling starting to occur



Old peg tile roofs susceptible to nail sickness (corrosion of the nails that are used to fix it into position), originally these would have been timber pegs

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Walls

The property is a single storey timber frame structure. There are visible signs of woodworm within it.

Action required: We would recommend that a woodworm anode be utilised during the breeding season.

The timber frame undulates; it is clad in tar-based paint/stain.

It has a mixture of plastic and cast iron goods. We noted that the end cap was missing on the right hand side, and that the gutter did not fall evenly. The left hand gutter would appear to be trespassing on the adjoining properties land, causing a valley gutter, which we believe is likely to be causing dampness into the adjoining property.



Close up of the shiplap boarding to the barn, which is starting to deteriorate



General view of gutter trespassing on adjoining property



Close up of gully detail

We have no way of knowing whether this property has foundations or not.

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INTERNAL

GROUND FLOOR – TRADING AREA

Front of House

Main Bars

Ceilings

Painted paper – slightly smoke stained.

Walls

Painted render and plasterboard with decorative timber beams – slightly smoke stained.

Brickwork around the two fireplaces is smoke stained.



Open fire on the right hand side
with smoke staining above

Floors

Carpet and quarry tiles around the bar area – some damage.

Doors and Windows

Painted timber windows and stained timber doors in reasonable condition with hairline cracking and the knots grinning through.

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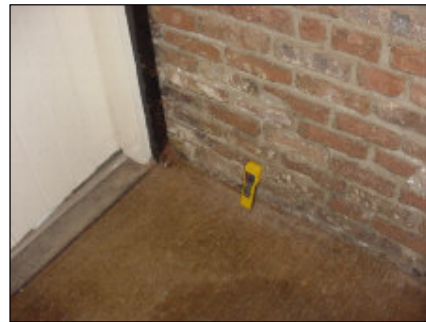
General view



The seats were lifted but unfortunately the walls were not accessible as they are panelled.



Rising damp on the external wall



Rising damp on the internal wall

Store/Cleaning Cupboard

Ceiling

Lightly artexed – smoke stained.

Walls

Timber-look hardboard – possibly damp behind.

Floor

Carpeted.

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Bar Serving Area

Ceilings

Painted wallpapered ceilings – slightly smoke stained.

Walls

Timber back bar counter.

Floors

Seamless Altro-type flooring, and some areas of ingrained dirt to the perimeter of the floor.

General view behind bar



Exposed timber – not hygienic



Gents Toilets

Ceilings

Lightly artexed, slightly smoke stained, hairline cracking between wall and ceiling.

Walls

Tiled, some areas of blown tiling and ingrained dirt to the grout.

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Floors

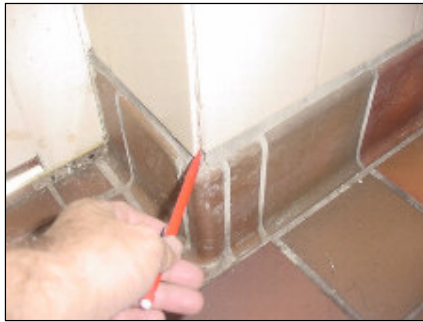
Quarry tiled and ingrained dirt to the joints and some marked tiles.

Doors

Hard wood doors marked.

Sanitary Wear

Generally in need of an overhaul. WC cistern with cigarette burns.



Damaged tiles



Door has not been knot stopped or primed correctly



Gap between wall and ceiling



Cigarette burns to WC cistern

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Ladies Toilets

Ceilings

Lightly artexed, slightly smoke stained, hairline cracking between wall and ceiling.

Walls

Tiled, some areas of blown tiling and ingrained dirt to the grout.

Floors

Quarry tiled and ingrained dirt to the joints and some marked tiles.

Doors

Hard wood doors marked.

Sanitary Wear

Generally in need of an overhaul. WC cistern with cigarette burns.

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Back of House

Catering Kitchen

(Please note there is no private living accommodation kitchen, which we believe may be a Local Authority requirement in future years.)

Ceilings

Painted. Some marks and stains and general grease covering.

Walls

Tiled. Ingrained dirt and areas of blown tiles for example around the windows. Areas of patched in tiles, which are not ideal for a kitchen area.

Floors

Seamless altro-type floor.

Windows

Painted windows, leaded lights, no fly grills.

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Catering Equipment

We have assumed that the catering equipment meets Local Authority approval and is appropriate for use. The catering equipment has not been inspected, as we are not expert in this area.



General view of kitchen

Prep area. Painted brickwork with electrics on to a damp wall



Mould visible throughout, not ideal for a food area, believed to be caused by condensation and the single brick construction nature of the property.



Prep Room

Ceiling

Lightly artexed – some areas coming away.

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Walls

Tiled – some areas of tiling missing, other areas blown. Ingrained dirt to grout.

Ingrained dirt to the grout



Missing tiles



Floors

Altro-style floor finish – some ingrained dirt to perimeter.

Ground Floor Cellar

Ceilings

Painted fibreboard.

Walls

Painted brick and block work. Minor marks.

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Floors

Concrete. Rising damp found.

Rising damp from the floor



Access Areas

Ceilings

A mixture of painted plasterboard and hardboard. The area next to the boiler is exposed back to the timber decking.

Walls

A mixture of painted brickwork and timber. Some spalling noted to the brickwork, which has been painted over.

Floors

Concrete floor ingrained with dirt and damaged steps.

We also noted stored gas bottles within the access corridor, which is not ideal.



Ingrained dirt to concrete areas and damaged steps.

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FIRST FLOOR - ACCOMMODATION

Master Bedroom

Ceilings

Painted ceiling – minor paint flaking around access hatch.
Some making good visible.

Walls

Papered. Central heating boxed in.

Floors

Carpeted.

Windows

Secondary glazing to leaded lights.

Door

Painted timber door.

Reception Room

Ceilings

Papered – some minor movement. Marks visible from the plaster above.

Walls

Papered – generally dry lined.

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Floors

Carpeted.

Windows

Secondary glazing to leaded lights. Timber would benefit from redecoration.

Door

Painted timber door.

Second Bedroom

Ceilings

Papered ceiling – some movement. Marks present from the plaster above. Making good marks.

Walls

Papered

Floors

Carpeted.

Windows

Secondary glazed leaded windows.

Door

Painted timber door – damage has occurred to the edge of the door, which has been repaired.

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Shower Room

Ceilings

Papered ceiling with movement marks particularly to pitch of roof.

Walls

Papered.

Floor

Carpeted.

Door

Hardboard door with some old fixing marks present.

Sanitary wear

Standard size shower unit, which is tiled. Minor mould to grouting and signs of old leakage. WC and wash hand basin. Extractor fan within light that we note passes up into the roof void.

Access Stairway

Ceilings

Papered.

Walls

Papered with an area of painted brickwork to the top of the staircase.

Floors

Carpeted – the majority of which is a staircase including inset.

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SERVICES

We would reiterate that services have not been tested. We suspect from a visual inspection that the electrics would not meet current IEE Regulations.

We are not able to give any advice on the heating installation or the drainage or water supply.

GENERAL COMMENT

Fire Regulations

We have assumed for the purposes of this Schedule that current fire regulations are adhered to.

We would add that as the property is thatched, we feel additional fire prevention measures are required.

Disability Discrimination Act

You should be aware that it is now a requirement to give reasonable access to the disabled and make reasonable amendments to the property as is necessary to accommodate them. There does not appear to have been any provision with regards this. You should ask to see if a report has been carried out in line with the Disabilities Act highlighting areas, which can be improved or have been improved.

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Signature Document in Relation to
Schedule of Condition

This signature document represents page 61 and page 62 of a 62 page Schedule of Condition relating to

XXXXXXXXXXXXXXXXXXXX
as prepared by

GEM Associates Ltd Chartered Surveyors

You should ensure your Legal Advisor gets this document signed by the relevant parties and agreed prior to legal commitment to purchase. Delete/amend as you require

Lessees Representative

We verify that this is a true and accurate record of the condition of:

XX

As inspected on xxxxxxxxxx

By

GEM ASSOCIATES LTD

SignedDated: xxxxxxxx
For and on Behalf of
GEM Associates Ltd Chartered Surveyors

GEM Associates Limited

Independent Chartered Surveyors

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Lessee

Mr and Mrs xxxxxxxx have seen and forwarded it on by recorded delivery on the.....to the owners/landlords or their legal representatives in relation to the proposed Lease.

Signed: Dated.....

Signed: Dated
Mr and Mrs xxxxxxxx

Landlords Representative (delete as applicable)

Print Name.....For and on Behalf of.....

.....has inspected and read the Schedule of

Condition for an on behalf of.....and accepts that it

is a true and accurate record.

Signed: Dated.....
For and on Behalf of

I have the authority to sign this document on behalf of the
aforementioned company.

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